

NEW MULTI FAMILY UNITS

RARITAN AVE. LLC

LOCATED AT:
126 RARITAN AVE.
KEANSBURG, N.J.
BLOCK:47 LOT:23

GENERAL NOTES & SPECIFICATIONS

- THE CONTRACT DRAWINGS AND SPECIFICATIONS HAVE BEEN CAREFULLY CHECKED BY THE ARCHITECT TO PROVIDE CONTRACT DOCUMENTS WHICH CLEARLY DEFINE THE RESULTS THE CONTRACTOR IS EXPECTED TO ACHIEVE. PRIOR TO COMMENCEMENT OF CONTRACTED WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS, OMISSIONS, OR LACK OF DEFINITION BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR BETWEEN THE CONTRACT DOCUMENT AND EXISTING SITE CONDITIONS IN ORDER TO RESOLVE ANY PROBLEM. THE COMMENCEMENT OF CONTRACTED WORK BY THE CONTRACTOR WILL BE DEEMED AS ACCEPTANCE OF THE CONTRACT DOCUMENTS AS BEING TRUE AND CORRECT AND NO REQUESTS FOR ADDITIONAL PAYMENT DUE TO CONFLICTS, OMISSIONS, OR LACK OF DEFINITION WILL BE ACCEPTED. ANY REVISED DRAWING OR OTHER DOCUMENT ISSUED TO THE CONTRACTOR SHALL NOT BE EXECUTED UNLESS ACCOMPANIED BY A LETTER OF AUTHORIZATION TO PROCEED. IN CASES WHERE COST ESTIMATES ARE REQUESTED FOR REVISIONS, THEY WILL BE PREPARED AND SUBMITTED PROMPTLY IN ORDER THAT THEY DO NOT UNDESIRABLY AFFECT THE PROGRESS OF WORK.
- THE GENERAL CONTRACTOR HEREBY INDEMNIFIES, AGREES TO DEFEND AND HOLD HARMLESS THE OWNER FROM AND AGAINST ANY / ALL SUITS, CLAIMS, ACTIONS, LOSS, COST OR EXPENSE (INCLUDING CLAIMS FOR WORKMEN'S COMPENSATION BASED ON PERSONAL INJURY OR PROPERTY DAMAGE CAUSED IN THE PERFORMANCE OF THIS WORK BY THE GENERAL CONTRACTOR, HIS EMPLOYEES, AGENTS, SERVANTS, OR SUBCONTRACTORS ENGAGED BY HIM).
- INSURANCE BY GENERAL CONTRACTOR SHALL BE AS FOLLOWS: COMPREHENSIVE GENERAL LIABILITY (BI AND PD COMBINED) LIMIT \$1,000,000.00 PER OCCURRENCE.
EXCESS LIABILITY (BI AND PD COMBINED) LIMIT AMOUNT OF \$3,000,000.00 WITH COMPANIES AND FORMS AGGREGATE WORKER'S COMPENSATION AND LIABILITY STATUTORY.
BEFORE COMMENCEMENT OF WORK, CERTIFICATES OF INSURANCE SHALL BE FURNISHED TO THE OWNER, AND IF REQUESTED, THE ORIGINAL POLICIES. THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS MAINTAIN INSURANCE AT ALL TIMES WITH COMPANIES AND ON FORMS SATISFACTORY TO ARCHITECTS. TEN DAY ADVANCE WRITTEN NOTICE SHALL BE GIVEN TO THE OWNER BY THE INSURANCE CARRIER OF ANY CHANCE OR CANCELLATION OF COVERAGE SET FORTH ABOVE.
- THE CONTRACTOR SHALL COMPLY WITH THE LOCAL BUILDING CODE AND REGULATIONS, LATEST EDITIONS, ALONG WITH ALL APPROPRIATE MUNICIPAL AND REGULATORY AGENCIES CODES AND REQUIREMENTS AND LANDLORD REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR THE PREPARATION DEPARTMENT FORMS, DOCUMENTS, FEES AND THE SUBSEQUENT FILING THERE OF, INCLUDING OBTAINING ALL APPROVALS REQUIRED PERMITS, EQUIPMENT USE PERMITS, CONTROLLED INSPECTIONS & FINAL SIGN OFFS.
- THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL JOB CONDITIONS, DIMENSIONS, AND DETAILS PRIOR TO SUBMITTING ANY BIDS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK PRIOR TO THE SUBMISSION OF BIDS.
- DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS STRINGS GOVERN. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE PLANS.
- ALL DIMENSIONS ARE FROM FINISH SURFACE TO FINISH SURFACE OR FROM FACE OF CONVECTOR TO FINISH SURFACE.
- THE GENERAL CONTRACTOR SHALL COMPLY WITH THE LOCAL RULES AS TO THE HOURS OF OPERATION AVAILABILITY OF HANDLING MATERIALS, EQUIPMENT AND DEBRIS TO AVOID CONFLICT AND INTERFERENCE WITH BUILDING OPERATIONS. DEMOLITION MUST BE PERFORMED DURING HOURS SPECIFIED BY THE OWNER. THE DELIVERY OF MATERIALS EQUIPMENT AND DEBRIS MUST BE ARRANGED TO AVOID ANY INCONVENIENCE AND ANNOYANCE.
- THE GENERAL CONTRACTOR SHALL COMPLY WITH THE LOCAL RULES AS TO THE HOURS OF OPERATION AVAILABILITY OF HANDLING MATERIALS, EQUIPMENT AND DEBRIS TO AVOID CONFLICT AND INTERFERENCE WITH BUILDING OPERATIONS. DEMOLITION MUST BE PERFORMED DURING HOURS SPECIFIED BY THE OWNER. THE DELIVERY OF MATERIALS EQUIPMENT AND DEBRIS MUST BE ARRANGED TO AVOID ANY INCONVENIENCE AND ANNOYANCE.
- THE GENERAL CONTRACTOR SHALL MAKE AVAILABLE A MINIMUM OF THREE (3) FIRE EXTINGUISHES PER FLOOR (OR MORE), IF REQUIRED BY THE LOCAL ORDINANCE. FIRE EXTINGUISHES SHALL BE KEPT AND MAINTAINED ON THE PREMISES BY OWNER'S CONTRACTOR FOR THE DURATION OF THE ALTERATION.
- ALL MATERIALS AS WELL AS METHODS AND PROCESSES USED IN THE PERFORMANCE OF THE WORK SHALL CONFORM TO THE STANDARD OF THE LOCAL CODE AND THE GENERAL CONTRACTOR SHALL BECOME FAMILIAR WITH SUCH REQUIREMENTS.
- CONTRACTOR TO CONTROL CLEANING TO PREVENT DIRT OF DUST FROM LEAVING THE JOB SITE AND INFILTRATING AREAS NOT INVOLVED IN THE PROJECT.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT FIRST INFORMING THE ARCHITECT. SUBMIT SUBSTITUTE MATERIAL SPECIFICATIONS AND SAMPLES FOR APPROVAL, IN WRITING, PRIOR TO COMMENCEMENT OF WORK.
- THE GENERAL CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS, COMPLETE WITH MANUFACTURER'S EQUIPMENT CUTS, FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK. SUBMITTAL SHALL BE IN THE FORM OF: (A) REPRODUCIBLE SEPIA TRANSPARENCY (POSITIVE SIDE UP); AND (B) 3 BLACK AND WHITE PRINTS OF EACH DRAWING. THE CONTRACTOR WILL NOT COMMENCE FABRICATION BEFORE RECEIVING THE APPROVAL OF THE ARCHITECT
- APPROVAL OF SHOP DRAWINGS SHALL INDICATE ONLY THAT SUCH DRAWINGS GENERALLY EXPRESS THE INTENT OF THE CONTRACT DOCUMENTS AND SHALL NEITHER BE CONSTRUED AS A COMPLETE CHECK NOR RELIEVE THE CONTRACTOR OF RESPONSIBILITY IN NOTE ABOVE.
- THE GENERAL CONTRACTOR SHALL MAKE GOOD, AT HIS OWN EXPENSE, ANY DAMAGE TO EXISTING AREAS NOT DESIGNATED FOR REFURBISHMENT.
- GENERAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF ALL OTHER CONTRACTORS, WHETHER HIS OWN, OR THOSE ON SEPARATE CONTRACT LET BY THE OWNER. PRIOR TO COMMENCING WORK, THE GENERAL CONTRACTOR SHALL PROVIDE A WORK SCHEDULE TO ARCHITECT SHOWING ESTIMATED COMMENCEMENT AND COMPLETION DATES OF EACH TRADE. THE CONTRACTOR SHALL BE RESPONSIBLE TO INDICATE ANY CONFLICTS OR OMISSIONS.
- UNLESS SPECIFICALLY NOTED OTHERWISE, ALL WORK SHOWN ON THESE DRAWINGS SHALL BE PERFORMED BY THE GENERAL CONTRACTOR.
- THE AIA GENERAL CONDITIONS, LATEST EDITION, (DOCUMENT A201) SHALL BE BINDING ON THIS CONTRACT.
- THE WORK REQUIRED UNDER THIS CONTRACT SHALL BE PERFORMED ON STRAIGHT TIME UNLESS OTHERWISE REQUIRED BY OTHER CLAUSES OF THIS CONTRACT OR AS DIRECTED BY THE CLIENT, ENGINEER, OR ARCHITECT. SHUTDOWN COORDINATION AS REQUIRED BY THE BUILDING LANDLORD.
- NO EXTRAS WILL BE PERMITTED UNLESS SUBMITTED IN WRITING BY THE CONTRACTOR AND APPROVED BY THE TENANT AND THE ARCHITECT.
- A COPY OF THE LATEST SET OF CONSTRUCTION DRAWINGS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE ARCHITECT.
- ALL REQUESTIONS FOR PAYMENTS FROM THE CONTRACTOR TO THE TENANT SHALL BE SUBMITTED TO THE ARCHITECT ON AIA FORM G722, LATEST EDITION, FOR PRIOR APPROVAL.
- ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR, UNLESS OTHERWISE NOTED. ALL CONTRACTORS SHALL SUBMIT IN WRITING THIS GUARANTEE TO THE CLIENT. THE GUARANTEE PERIOD IS TO BEGIN WHEN THE CLIENT OCCUPIES THE PREMISES.
- THE CLIENT'S ARCHITECT OR HIS REPRESENTATIVES SHALL HAVE ACCESS TO THE PREMISES AT ALL TIMES AND TO THE FACTORY OR SHOP OF ANY OF THE SUBCONTRACTORS. ANY DEFECTIVE MATERIAL OR WORKMANSHIP SHALL BE RECONSTRUCTED AS APPROVED BY THE ARCHITECT & THE TENANT AT THE CONTRACTOR'S SOLE EXPENSE.
- WHATEVER WORK IS DONE WHERE NO DEFINITE DETAILS OR INSTRUCTIONS ARE GIVEN, THE CONTRACTOR OR SUBCONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH THE HIGHEST STANDARDS OF WORKMANSHIP AND MATERIALS AS DEFINED BY THE GOVERNING TRADE ORGANIZATION.
- UPON COMPLETION OF WORK, THE CONTRACTOR WILL PROVIDE REPRODUCIBLE "AS-BUILT" TO SHOW ALL MODIFICATIONS OF THE CONTRACT DOCUMENTS, AS WELL AS ALL LIGHTING AND POWER CIRCUITRY (INCLUDING BREAKER NUMBERS) AS ACTUALLY INSTALLED.
- ALL MATERIALS SHALL, WHEN APPLICABLE AND REQUIRED, COMPLY WITH THE DIRECTIVES OF THE LOCAL BOARD OF STANDARDS AND APPEALS (B.S.A.), AND THE MANUFACTURER SHALL BE ABLE TO PRODUCE A LOCAL B.S.A. NUMBER ON DEMAND.
- NO MATERIALS SHALL BE NEW AND SHALL BE DELIVERED TO THE SITE IN THEIR ORIGINAL PACKAGING.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT FIRST INFORMING THE ARCHITECT. SUBMIT SUBSTITUTE MATERIAL SPECIFICATIONS AND SAMPLES FOR APPROVAL, IN WRITING, PRIOR TO COMMENCEMENT OF WORK.
- G.C. TO OBTAIN ALL PERMITS, SIGN-OFFS AND EQUIPMENT USE PERMITS.
- ALL WORK SHALL BE ON STRAIGHT TIME, WORK WHICH IS REQUIRED BY THE BUILDING OWNER/LANDLORD TO BE PERFORMED AFTER HOURS SHALL BE COORDINATED WITH TENANTS. ELECTRICAL TIE IN'S AND DRILLING TO BE COORDINATED WITH OWNER AND DONE AFTER HOURS.
- PREMISES TO BE FINE CLEANED PRIOR TO TURNING OVER TO OWNER.

BUILDING DATA

ADDRESS: 126 RARITAN AVE.
KEANSBURG, N.J.
BLOCK: 47
LOT: 23
ZONE:
DESCRIPTION OF WORK: NEW MULTI FAMILY UNITS
USE GROUP: RESIDENTIAL - (REMAIN)
CONSTRUCTION CLASS: VB - (REMAIN)
FIRE PROTECTION: NON-SPRINKLERED

APPLICABLE CODES: NEW JERSEY UNIFORM CONSTRUCTION CODE (NJUCC, NJAC 5:23
2021 INTERNATIONAL RESIDENTIAL CODE, NEW JERSEY EDITION
ICC/ANSI A117.1-2003 (N.J.A.C. 5:23-7.1)
2021 NATIONAL STANDARD PLUMBING CODE (N.J.A.C. 5:23-3.15)
2020 NATIONAL STANDARD ELECTRIC CODE (N.J.A.C. 5:23-3.16)
2021 INTERNATIONAL ENERGY CONSERVATION CODE - (N.J.A.C. 5:23-3.18)
2021 INTERNATIONAL MECHANICAL CODE (IMC)(N.J.A.C. 5:23-3.20)
2021 INTERNATIONAL FUEL GAS CODE (IFGC)(N.J.A.C. 5:23-3.22)

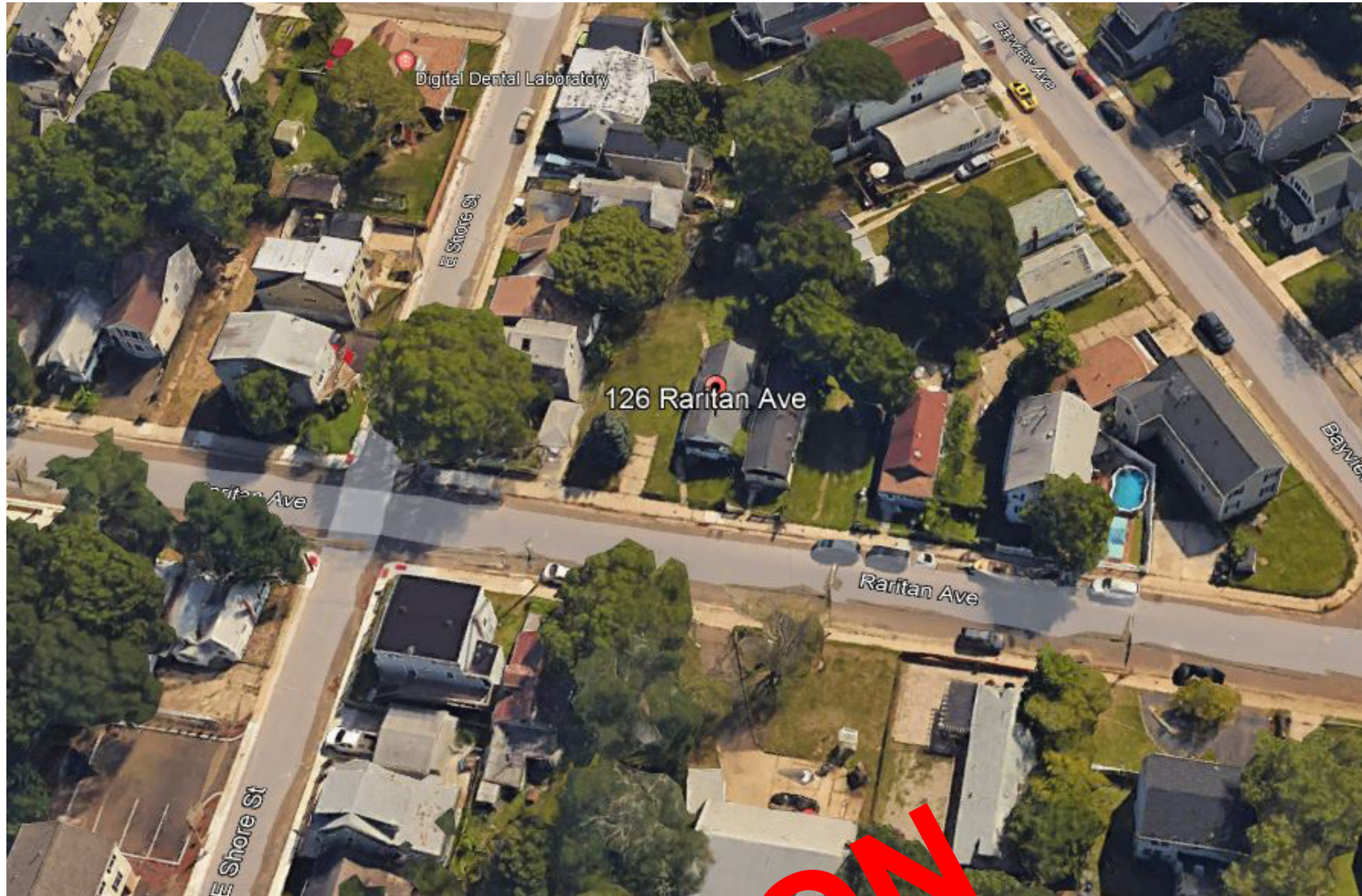
PROJECT DATA

SQUARE FEET: 5,519 S.F.(NEW)
VOLUME: 41,503 C.F.
AREA OF LAND DISTURBANCE: 2,638 1/4 S.F.
NUMBER OF STORIES: 3 1/2-STORY
BUILDING HEIGHT: 35' (NEW).
LOT AREA: 7,000 S.F. (EXIST.)
SETBACKS
FRONT REQUIRED (26.1') 26.1' (NEW)
LEFT SIDE REQUIRED (8.3') 8.3' (NEW)
RIGHT SIDE REQUIRED (14.8') 14.8' (NEW)
REAR REQUIRED (53.1') 53.1' (NEW)
BUILDING COVERAGE: 23.28% (1,629' S.F.) (NON-CONFORMING)
LOT COVERAGE: 23.28% (1,629' S.F.) (NON-CONFORMING)

SHEET INDEX

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AERIAL PHOTO



ANTHONY MALTESE P.E. P.L.S. P.P., C.M.E.
PROFESSIONAL ENGINEER
NJ LICENSE No. 42579

ANTHONY J. CHURCH
REGISTERED ARCHITECT
NJ LICENSE No. 21A100514600

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REVISION TABLE	
NUMBER	DATE
1	4-08-2021
2	4-12-2021

NOTES:

PROJECT DESCRIPTION:

NEW MULTI FAMILY UNITS
RARITAN AVE. LLC

LOCATED AT:
126 RARITAN AVE.

KEANSBURG, N.J.

DATE: 06-12-2023

DRAWN BY: DAK

SCALE: AS NOTED

JOB #: 743

SHEET: 1 OF 11

A101

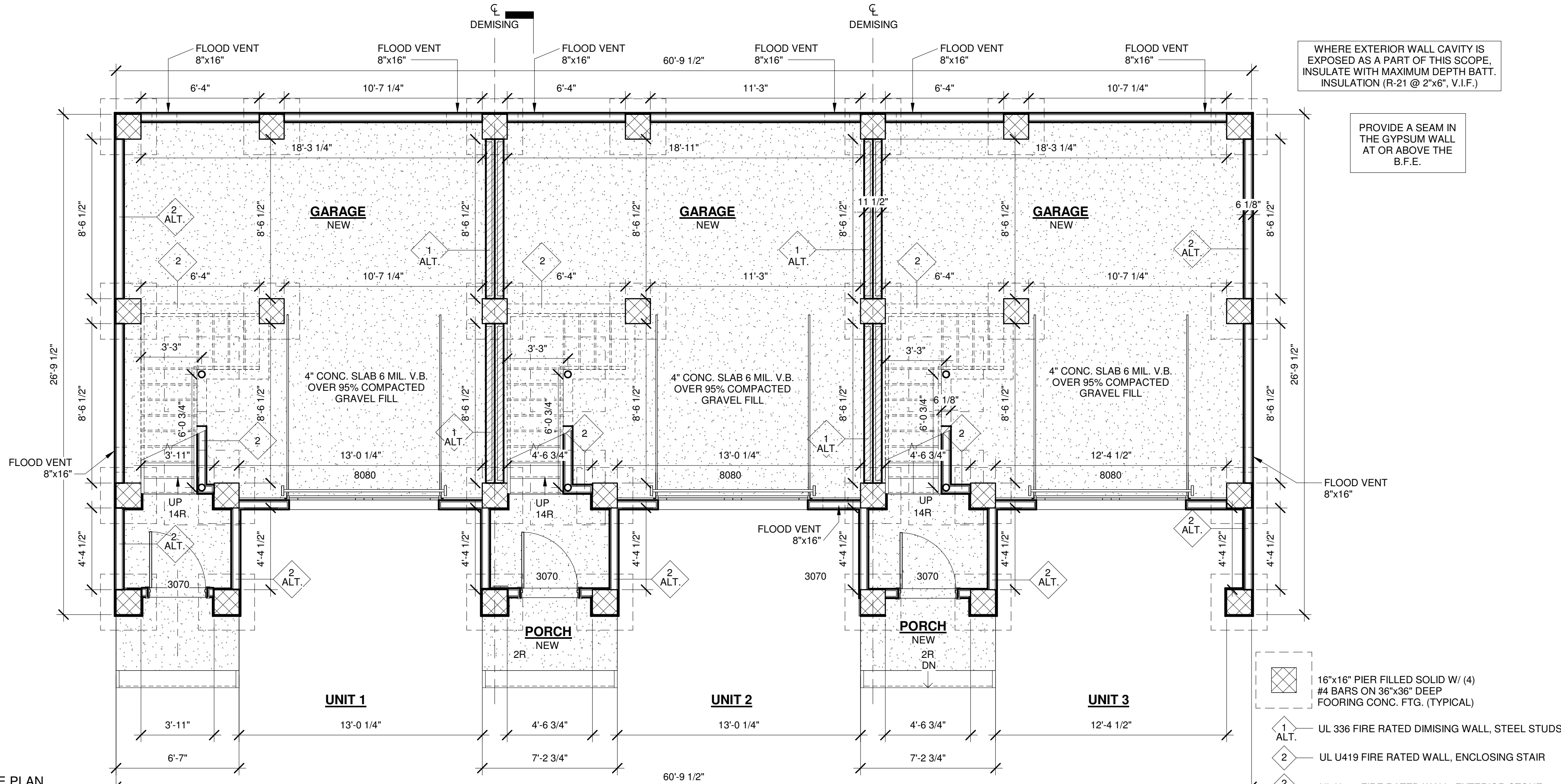


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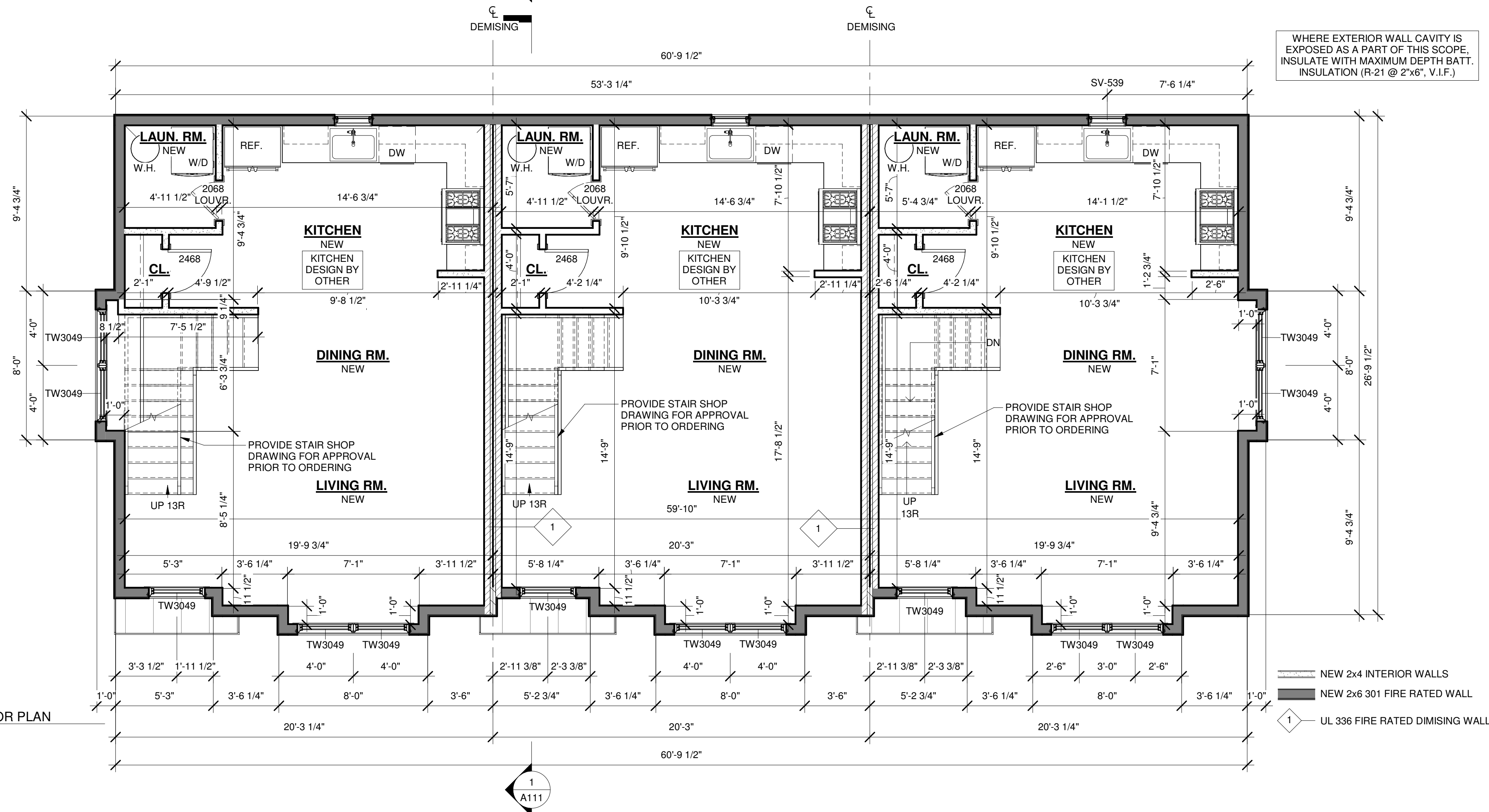
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- INDUSTRIAL DESIGN
- RELIGIOUS / INSTITUTIONAL DESIGN
- HEALTH CARE DESIGN
- STRUCTURAL DESIGN
- INTERIOR DESIGN

1 GARAGE PLAN
1/4" = 1'-0"



2 FIRST FLOOR PLAN
1/4" = 1'-0"



NOT FOR CONSTRUCTION

FLOOD VENT CALCULATIONS:
BASEMENT SQUARE FOOTAGE: 428.6 SF
428.6/200 SF = 2.143 VENTS REQUIRED
THESE CALCULATIONS FOR USE WITH A SMART VENT APPLICATION ONLY. IF ANY OTHER VENTS ARE USED THE REQD. NUMBER OF VENTS MUST BE MODIFIED BY ARCHITECT
CONTRACTOR TO SUPPLY 8"x16" STAINLESS STL. SMART VENT, CERTIFIED FOR 200 SF OF ENCL. AREA EACH. MODEL #1540-510
THE DESIGN OPENINGS WILL PROVIDE FOR EQUALIZATION FOR HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS BY ALLOWING FOR AUTOMATIC ENTRY & EXIT OF FLOODWATERS AS SPECIFIED IN SECTION 2.6.2.2 OF THE ASCE 24

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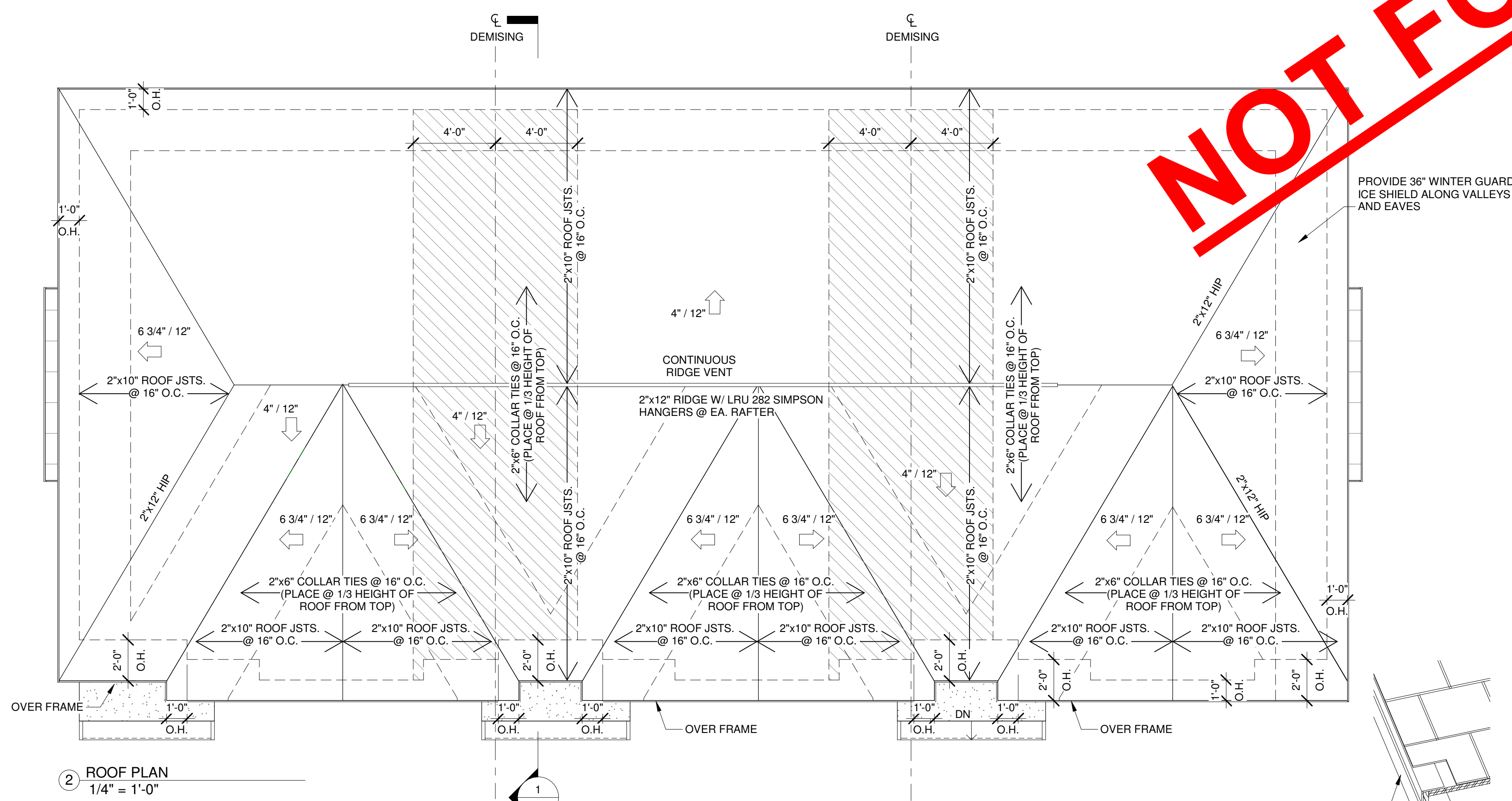
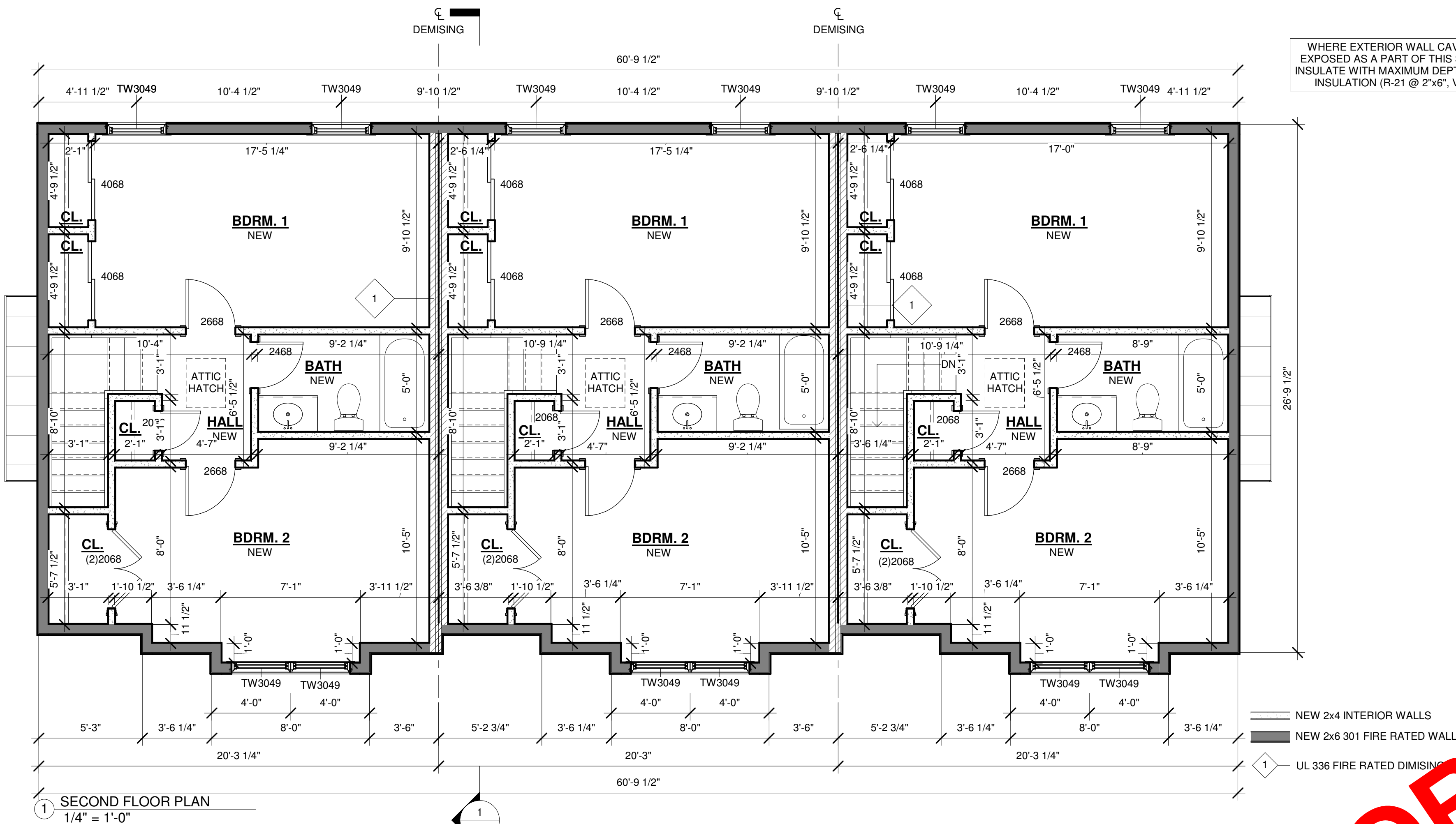
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TYP. ROOF RAFTER (SEE PLAN FOR SIZE)
SIMPSON MODEL H3 HURRICANE CLIP (ON EACH RAFTER TYP.)
SINGLE TOP PLATE ON CLG JSTS. (TYP.)
(TYP.) RIM BOARD
DBL. TOP PLATE OF WALL (TYP.)

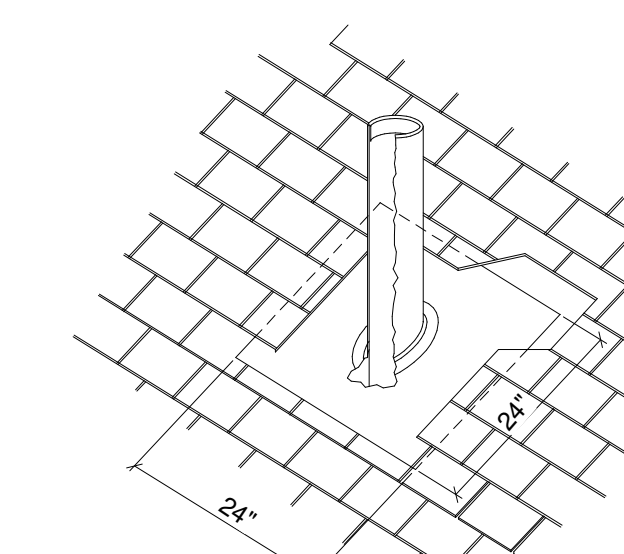
NOTE: PROVIDE SIMPSON STUD PLATE TIE MODEL #SSP AT EVERY 48" O.C. FOR TOP PLATE TO STUD CONNECTION TO ENSURE CONT. LOAD PATH.

7 TYP. SIMPSON #H3 HURRICANE CLIP
1/4" = 1'-0"

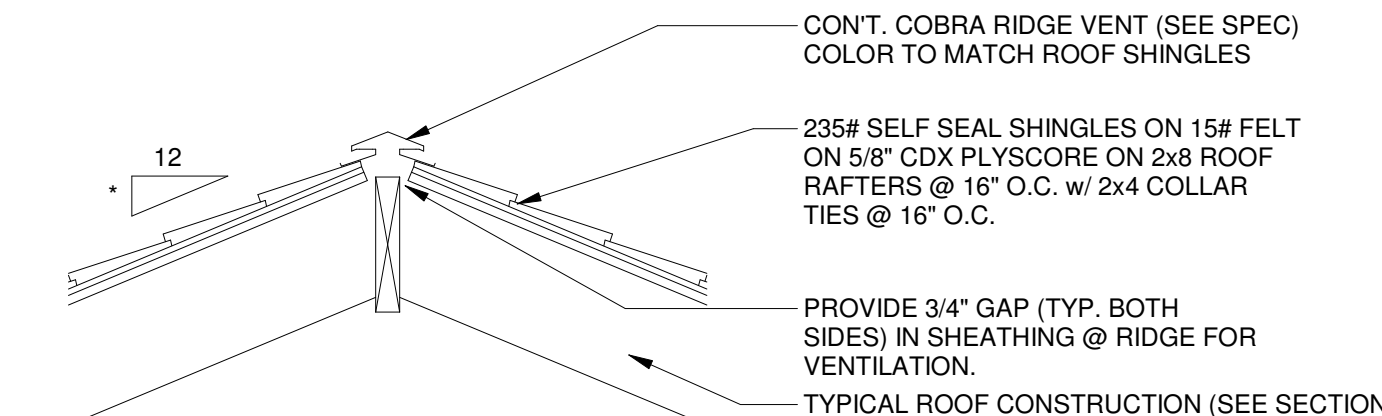
TYP. ROOF RAFTER (SEE PLAN FOR SIZE)
SIMPSON MODEL H2.5 HURRICANE CLIP (ON EACH RAFTER TYP.)
DBL. TOP PLATE OF WALL (TYP.)

NOTE: PROVIDE SIMPSON STUD PLATE TIE MODEL #SSP AT EVERY 48" O.C. FOR TOP PLATE TO STUD CONNECTION TO ENSURE CONT. LOAD PATH.

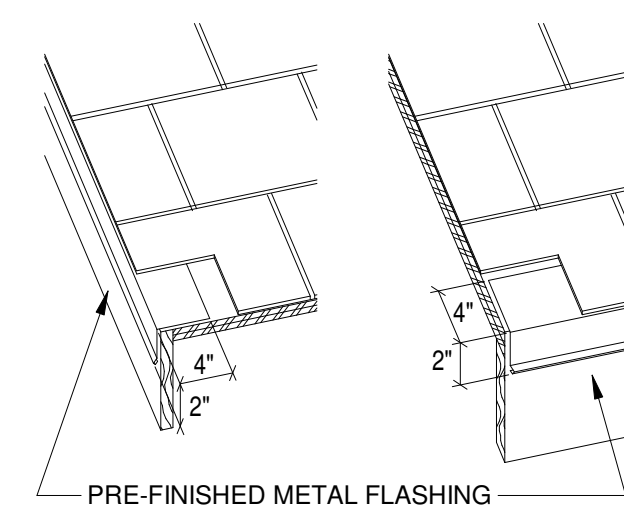
6 TYP. SIMPSON #H2.5 HURRICANE CLIP
1/4" = 1'-0"



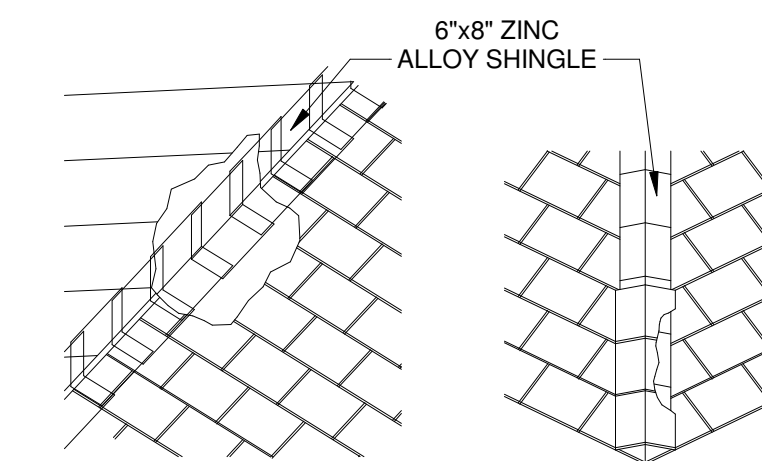
5 ROOF VENT DETAIL
1/4" = 1'-0"



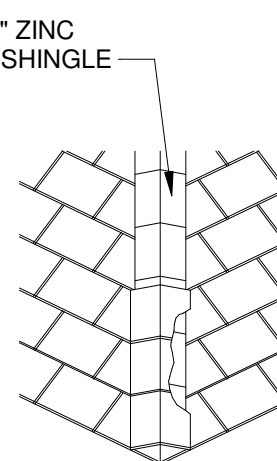
4 RIDGE VENT DETAIL
1/4" = 1'-0"



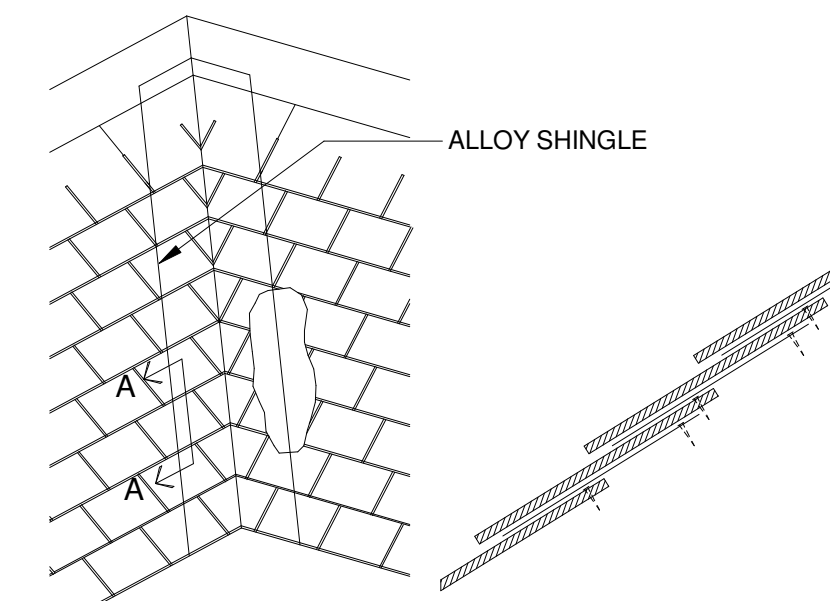
3 ROOF EDGE FLASHING DETAIL
1/4" = 1'-0"



DORMER FLASHING



HIP FLASHING



VALLEY FLASHING

SECTION A-A

ROOF VENTILATION:

PRIMARY STRUCTURE
CODE REQUIRES EVERY 300 SQ. FT. OF ROOF SPACE REQUIRES 1 SQ. FT. OF VENT. THE ATTIC SPACE IS 580 SQ. FT. THEREFORE, REQUIRED VENTING IS 2/3 SQ. IN. WE HAVE PROVIDED 280 SQ. IN. OF RIDGE VENTS & 871 SQ. IN. SOFFIT VENTING.

ANTHONY MALTESE P.E., P.L.S., P.P., C.M.E.
REGISTERED PROFESSIONAL ENGINEER
NJ LICENSE No. 42579

ANTHONY J. CHURCH
REGISTERED ARCHITECT
NJ LICENSE No. 21A100514600

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JOB #: 743

SHEET: 5 OF 11

A105



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FRAMING NOTES:

ALL ENGINEERED LUMBER IS TO BE MANUFACTURED BY LEVEL. ANY SUBSTITUTIONS MUST BE APPROVED BY QUALITY CONTROL.

DOUBLE FLOOR JOISTS SHALL BE PROVIDED UNDER PARTITIONS PARALLEL TO JOISTS UNLESS OTHERWISE NOTED ON PLANS.

PROVIDE JOISTS "A" PLANT UNDER PARTITION OR UTILITY WALLS (SEE TYPICAL).

ALL POSTS SHOWN ON PLANS TO BE 3"X4" PSL POSTS UNLESS OTHERWISE NOTED.

PROVIDE SQUASH BLOCKS UNDER ALL POSTS & POINT GARDERS.

FRAMING CONNECTIONS TO BE AS PER IFC LEVEL SPECS & DETAILS UNLESS OTHERWISE NOTED.

NOTCHING OF STUDS SHALL NOT BE CUT MORE THAN 25% OF THEIR WIDTH.

CHILLING OF STUDS SHALL NOT BE MORE THAN 60% OF THE STUDS WIDTH. AND THE EDGE OF THE HOLE IS NOT TO BE MORE THAN 50 TO THE EDGE OF THE STUD. DOUBLED STUDS SHALL BE USED TO REPLACE THE STUDS REMOVED. PARTITIONS DRILLED OVER 40% UP TO 40% TO 60% NO MORE THAN 40% AGGRESSIVE STUDS ARE TO BE DOUBLED OR BORED.

BORER HOLES SHALL NOT BE LOCATED IN THE SAME LINE AS STUDS.

WHERE TOP PLATE IS NOTCHED MORE THAN 50% SHOWN 15 GAUGE AND 1.5 INCH WIDE METAL TIE FASTENED ACROSS TO A PLATE AT EACH SIDE OF THE NOTCH

INTERIOR BEARING WALLS OVER 9" IN HEIGHT & FRAMED WITH 2X4 STUDS SHALL BE SOLID BORED MIDWAY AT

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—

126 RARITAN AVE.

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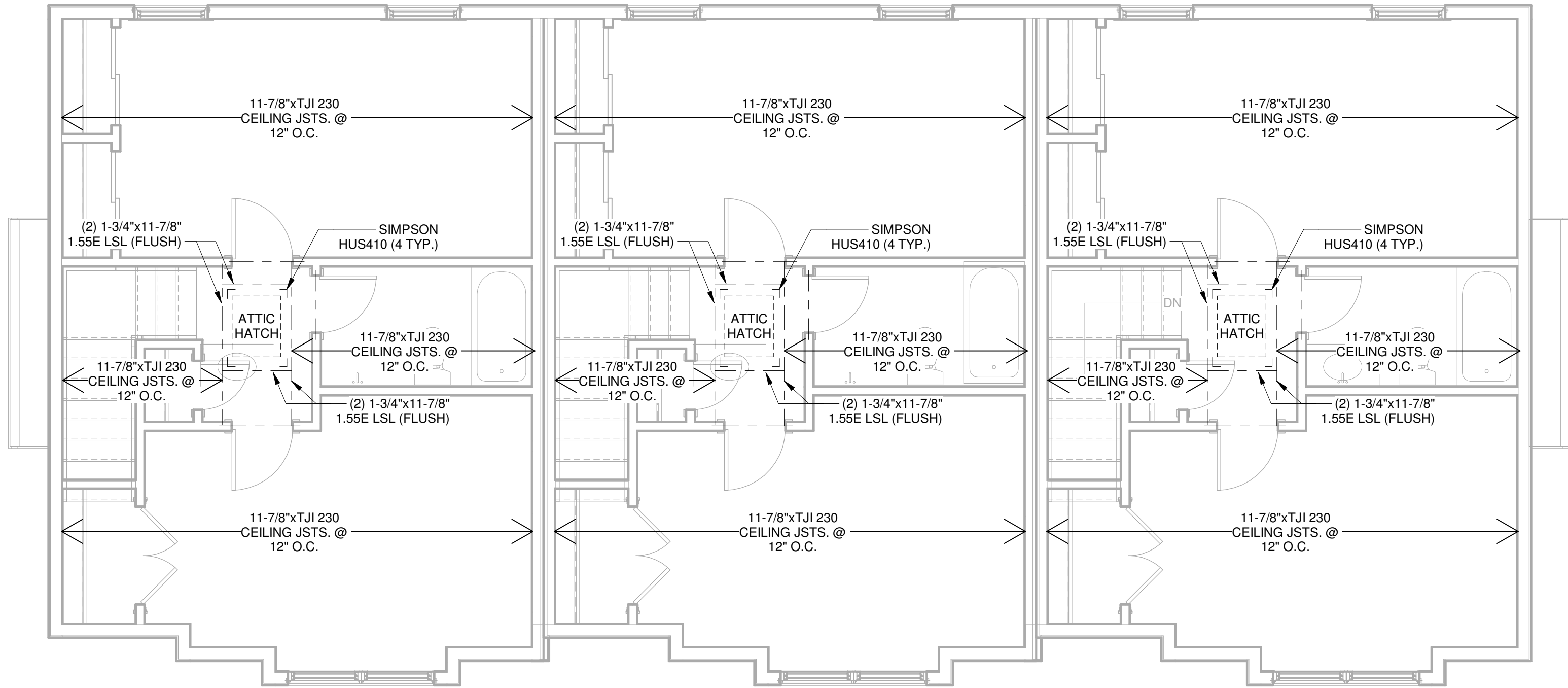
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1 Clg. Framing Plan
1/4" = 1'-0"

NOT FOR CONSTRUCTION

×

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×

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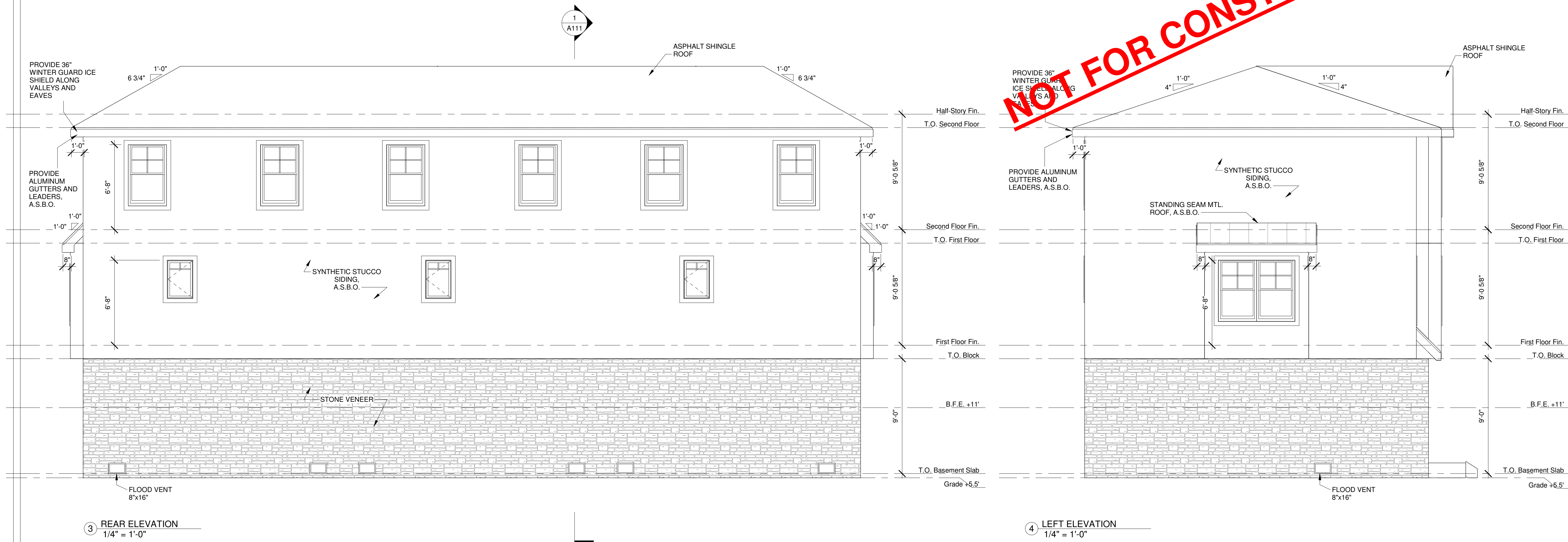
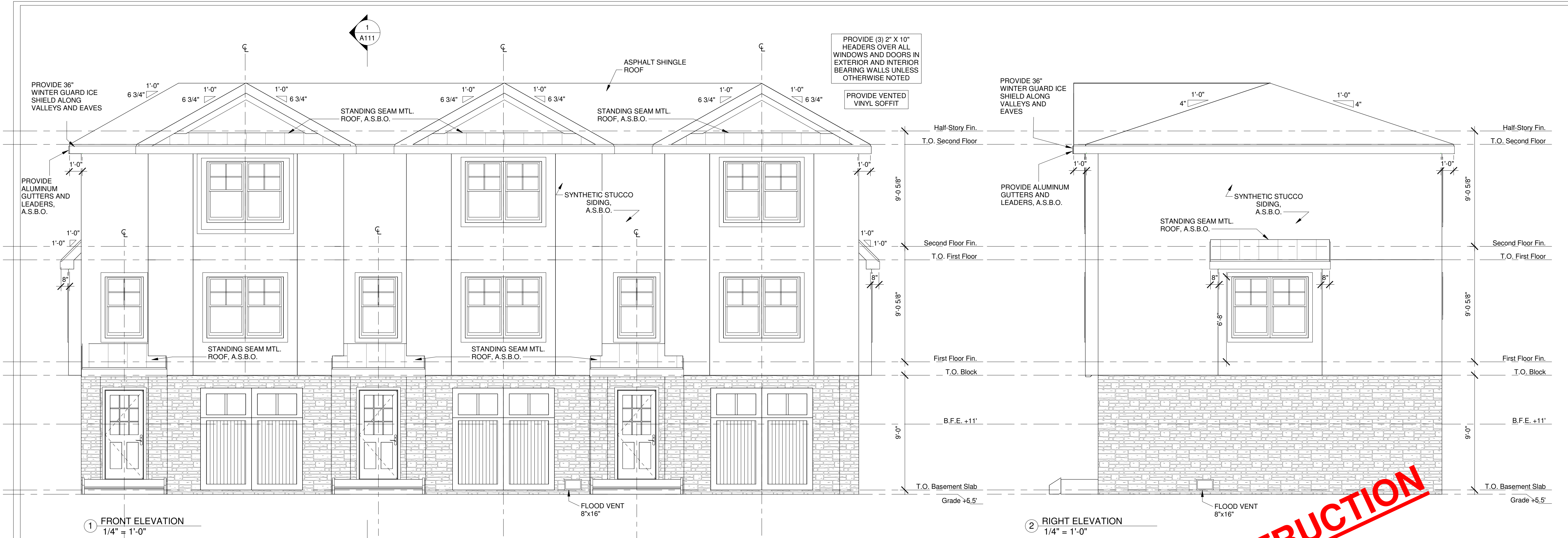
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SHEET: 8 OF 11

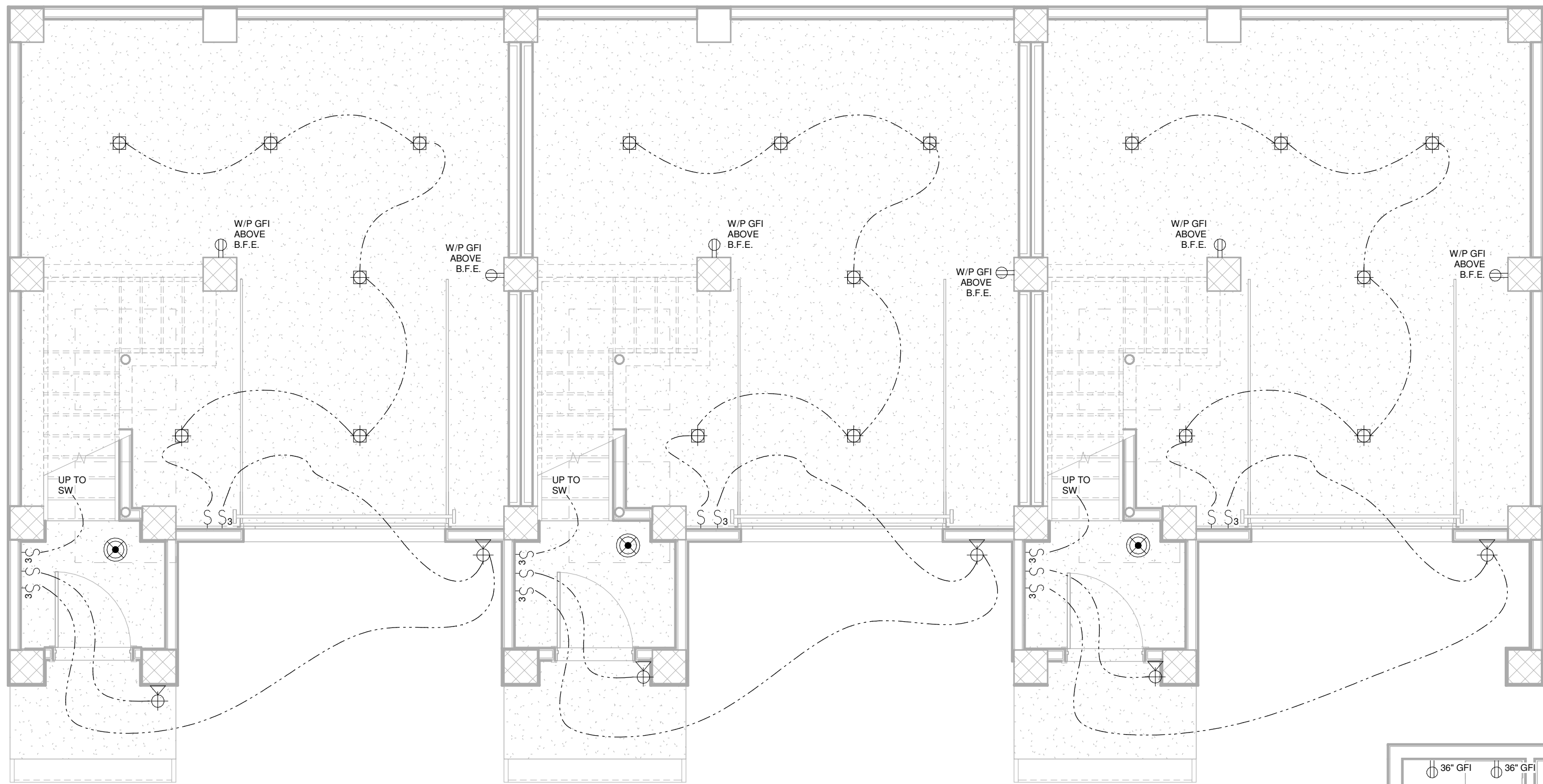
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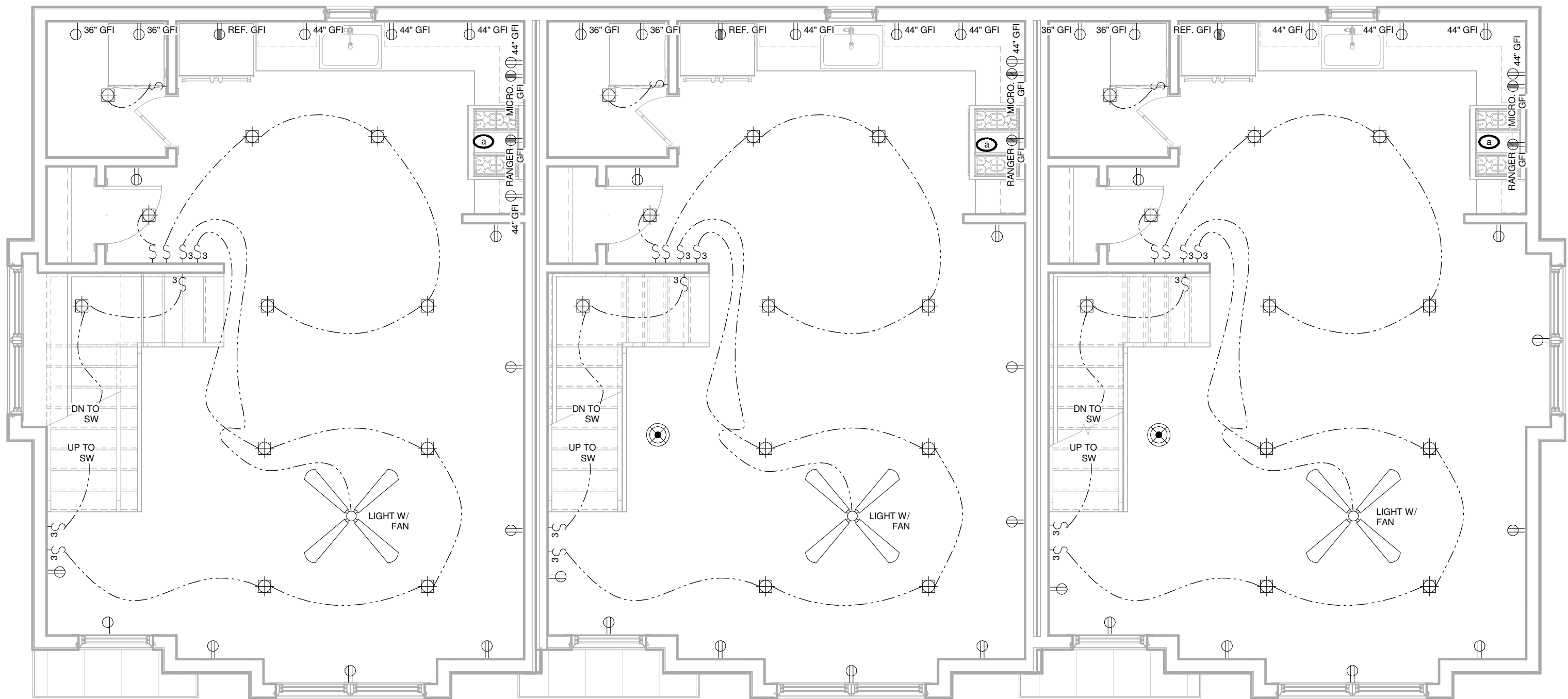
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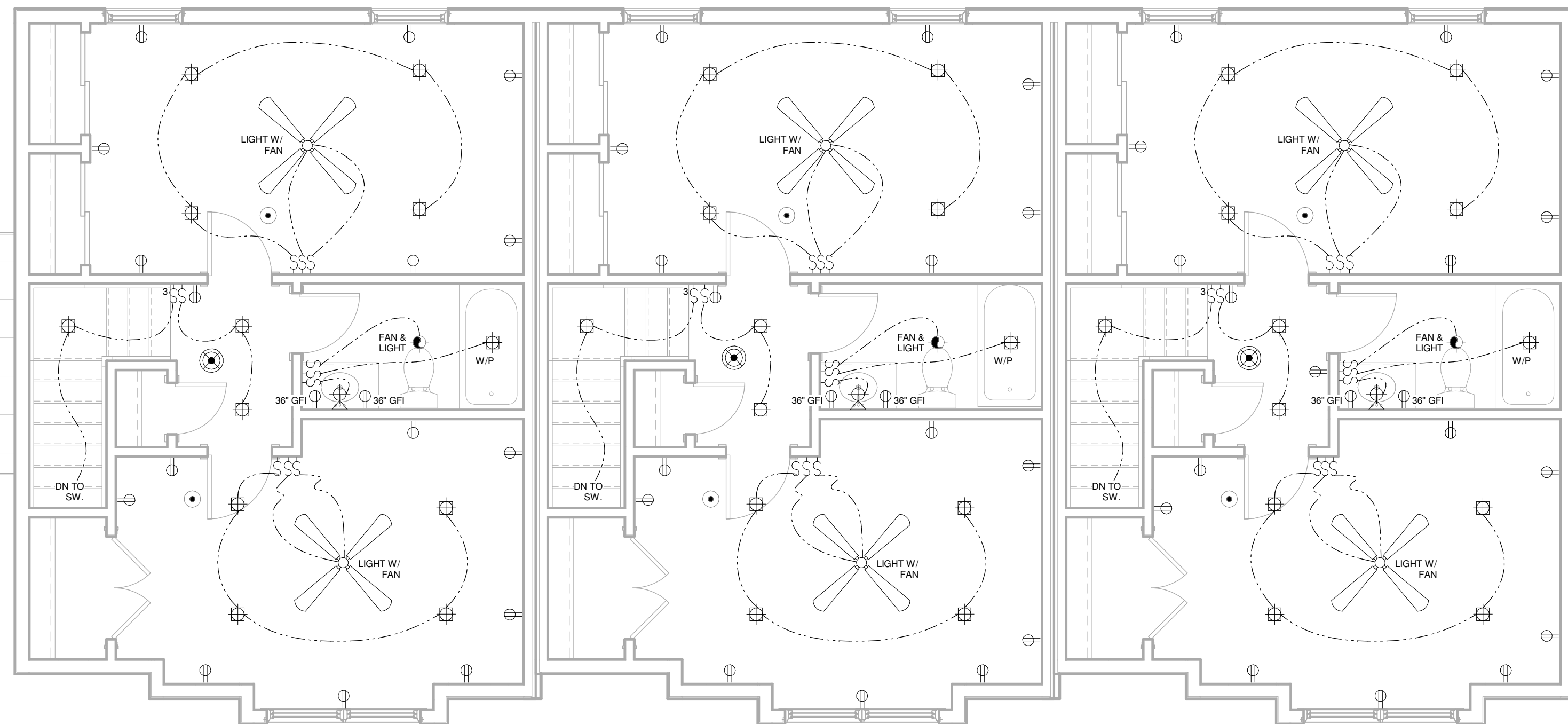
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- INTERIOR DESIGN



1 GARAGE PLAN ELECTRICAL
1/4" = 1'-0"



2 FIRST FLOOR ELECTRICAL PLAN
1/4" = 1'-0"



3 SECOND FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

NOT FOR CONSTRUCTION

SYMBOLS LEGEND	
	110 VOLT OUTLET
	QUAD OUTLET
	WATERPROOF OUTLET
	GROUND FAULT INTERRUPTER OUTLET
	HALF SWITCH OUTLET
	WALL FIXTURE
	CEILING FIXTURE- RECESSED
	CEILING FIXTURE- SURFACE MOUNTED
	CEILING FIXTURE- PENDANT
	CEILING FIXTURE- PULL CHAIN
	EXHAUST FAN & LIGHT
	SMOKE DETECTOR/ CARBON MONOXIDE
	SMOKE DETECTOR
	1 POLE SWITCH
	2 POLE SWITCH
	3 POLE SWITCH
	DIMMER SWITCH
	APPLANCE JUNCTION BOX
	GAS LINE
	SURFACE MOUNTED FLOOR LIGHT FIXTURE
	SURFACE MOUNTED FLOOD LIGHT
	SURFACE MOUNTED WALL SCONCE
	CEILING FAN
	2'-0"X4'-0" FLUOR. LIGHT FIXTURE
	2'-0"X2'-0" FLUOR. LIGHT FIXTURE
	2'-0"X4'-0" A.C.T. GRID

ELECTRICAL NOTES:
ELECTRICAL FIXTURES TO BE AS SELECTED BY OWNER.
CONTRACTOR TO VERIFY LIGHTING PLACEMENT WITH OWNER PRIOR TO INSTALLATION.
ALL ELECTRICAL WORK TO BE IN ACCORDANCE WITH ALL APPLICABLE & CURRENT CODES.
SWITCHES TO BE TOGGLE TYPE, 20 AMP, 120 VOLT AC, UNLESS OTHERWISE NOTED. COLOR AS SELECTED BY OWNER.
OUTLETS TO BE 3 WIRE GROUNDING TYPE, 20 AMP, 120 VOLT AC, COLOR AS SELECTED BY OWNER.
ALL SMOKE ALARMS TO BE INTERCONNECTED & HARD WIRED WITH BATTERY BACK UP AS PER SECTION R314 IN THE IRC. OWNER HAS OPTION TO USE LOW VOLTAGE FIRE ALARM SYSTEM THAT COMPLIES WITH ELECTRICAL SUBCODE. CONTRACTOR TO COMPLY TO ALL CODES FOR LOW VOLTAGE SYSTEM & SHALL BE RESPONSIBLE TO PULL A LOW VOLTAGE PERMIT.
IF OWNER INSTALLS ANY LOW VOLTAGE HOUSE LIGHTING OR ALARM SYSTEMS, ELECTRICAL CONTRACTOR IS REQUIRED TO COMPLY TO ALL CODES & SHALL BE RESPONSIBLE TO OBTAIN A LOW VOLTAGE PERMIT.
CONTRACTOR SHALL PROVIDE A LUMINAIRE CONTROLLED BY A SWITCH LOCATED AT THE REQUIRED PASSAGEWAY TO AN APPLANCE. A RECEPTACLE SHALL BE INSTALLED AT OR NEAR THE APPLANCE IN ACCORDANCE WITH THE ELECTRICAL SUB-CODE.

ANTHONY MALTESE P.E., P.L.S., P.P., C.M.E.
PROFESSIONAL ENGINEER
NJ LICENSE No. 42579

ANTHONY J. CHURCH
REGISTERED ARCHITECT
NJ LICENSE No. 21A100514600

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REVISION TABLE		DESCRIPTION
NUMBER	DATE	REVISION BY
1	4-08-2021	DAK
2	4-12-2021	DAK

NOTES:

PROJECT DESCRIPTION:

NEW MULTI-FAMILY UNITS
RARITAN AVE. LLC
LOCATED AT:
126 RARITAN AVE.
KEANSBURG, N.J.

DATE: 06-12-2023

DRAWN BY: DAK

SCALE: AS NOTED

JOB #: 743

SHEET: 9 OF 11

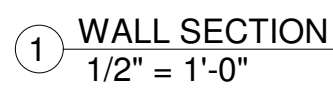
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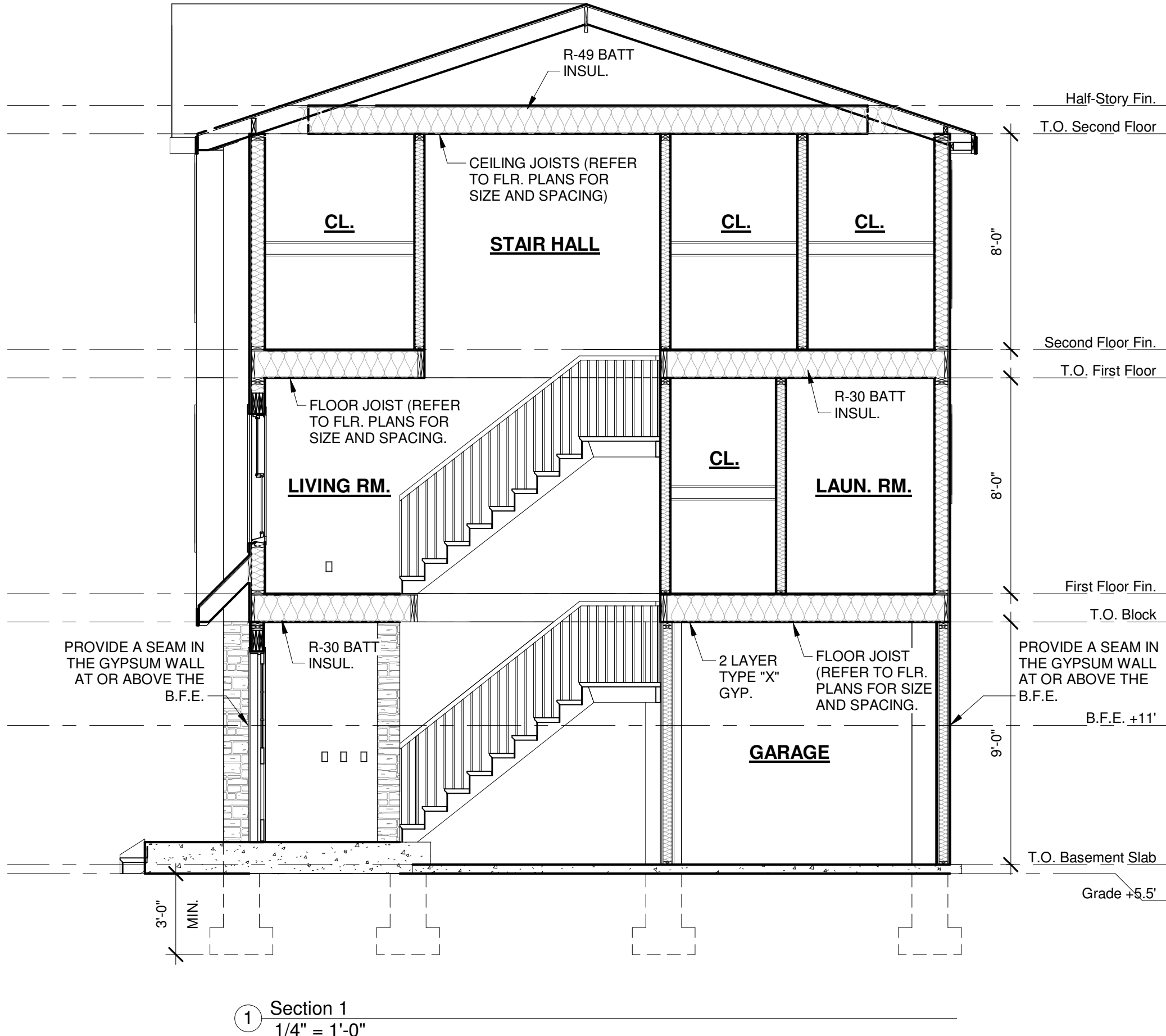
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REFER TO THE UL FIRE RESISTANCE DIRECTORY FOR INFORMATION REGARDING
PRODUCT ORIENTATION AND FASTENING REQUIREMENTS.

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1 Section 1
1/4" = 1'-0"

REVISION TABLE		
NUMBER	DATE	DESCRIPTION
1	4-08-2021	DAK CLIENT UPDATE
2	4-12-2021	DAK CLIENT UPDATE

NOTES:

PROJECT DESCRIPTION:

NEW MULTI FAMILY UNITS
RARITAN AVE.
LLC
LOCATED AT:
126 RARITAN AVE.
KEANSBURG, N.J.

DATE: 06-12-2023

DRAWN BY: DAK

SCALE: AS NOTED

JOB #: 743

SHEET: 11 OF 11

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