



## KEANSBURG PLANNING BOARD OF ADJUSTMENT

George E. Kauffmann Municipal Building  
29 Church Street  
Keansburg, NJ 07734

Kathy Burgess, Planning Board Secretary 732-787-0215 ext220

### Site Plan Application Packet Cover Sheet

**Statement:** The applicant(s) will carefully build their Site Plan packet which will be held as an important Document. Please follow all the listed instructions as outlined on this Cover Sheet.

**Pg.1- Checklist page** - Fill out completely, and sign (case # excluded). Please leave a valid Cell Phone Number so as not to hold up the application if a problem arises. List the amount of copies (21) submitted. This will be checked by The Planning Board Secretary.

**Pgs.2 & 3 - Statement & Variance** sheets that must be notarized. Two applications must have a raised Notary seal. The remaining applications may be copied.

**Pg. 4 - Copy of Notice to Adjoining property owners.** (200 foot search) This is the notice that the applicant must send to all residents within 200 feet of their property. *The list of property owner(s) is available from the Tax Assessor's Office.* **The date of the hearing MUST be obtained from the Planning Board Secretary to include in the notice after the packet is deemed complete.**

**Pg. 5 - Proof of Service** - Notarized sheet from applicant of 200 foot service.

**Pg. 6 - Certification by Tax Collector** that taxes are "Paid in Full" by Block & Lot.

Additional items that must be included, and are listed on the Checklist page # 1:

- A) Copies of the Zoning Denial letter
- B) Copy of the Survey (Less than 3 years old).
- C) Architectural Plans, with front & side height elevations.
- D) Plot Plans, including existing & proposed setbacks. Note: On use variances or other than single family homes, plot plan to include, but not limited to; A Key Map, a map showing all buildings within 200 foot of the proposed work site. Plans Drawn to Scale
- E) All plans are to be folded; and are to be stored in legal folders.
- F) Affidavit of Publication (Star Ledger 973-392-4104 or Asbury Park Press 732-643-3661)
- G) Certified Mail return receipts enclosed. Including Utilities & Borough of Keansburg.
- H) Application Fee: 1 Check \$ as per Fee Schedule/non-refundable fee.
- I) Escrow Fees: 1 Check \$ as per fee schedule/refundable balance

**Escrow:** additional fees may be required due to the approval process at the Planning Board level. The applicant will be notified via phone.

**Please Remember** - Applicants must build their Packets according to the instructions listed on this sheet and all instruction sheets that follow. Applicants must submit all notarized copies as listed as well as the total quantities listed. Total packets must be delivered to Borough Hall, 20 days prior to Meeting!

# Site Plan Application – Planning Board of Adjustment

Must be submitted ten (10) days prior to Planning Board meeting

Name: Julia <sup>Bill</sup> Wechsinger Case# \_\_\_\_\_  
 Address: 155 Maple Ave Date: \_\_\_\_\_  
Heensburg, NJ 07734  
 Phone #: 732 822 0414 Cell # 732 822 0414

- Application: (2 original copies notarized, pg. 3 - 21 total sets) \_\_\_\_\_ # submitted
- Each Application (21 sets) must include a Copy of the Zoning Denial Letter (if you received a denial) \_\_\_\_\_ # submitted
- Proof of Service (2 copies notarized, pg. 5 - include w/above) \_\_\_\_\_ # submitted
- Copy of Notice to Adjoining Property Owners, pg. 4 - include w/above \_\_\_\_\_ # submitted
- Certified list of Property Owners (include with originals)  
*Available from the Tax Assessor, includes total properties & Utilities* \_\_\_\_\_ # submitted
- A Certification of taxes being paid (include w/total sets)  
*This certification is available from the Tax Collector* \_\_\_\_\_ # submitted
- A Copy of a Survey (less than 3 years old - 21 total sets) \_\_\_\_\_ # submitted
- Architectural Plans (include w/packet - 21 total sets) \_\_\_\_\_ # submitted
- Plot Plans (include w/packet - 21 total sets) *Note: plot plans # submitted to include all setbacks, sidelines, both existing and proposed as well as all accessories (Sheds, Pools, Decks, Fencing, Driveways, Garages, etc.)* \_\_\_\_\_ # submitted
- Affidavit of Publication (Star Ledger 973-392-4104 | Asbury Park Press 732-643-3661)  
*Must be submitted ten (10) days prior to Planning Board meeting* \_\_\_\_\_ # submitted
- Certification Mail Return Receipts (PS Form 3800, June 2002) \_\_\_\_\_ # submitted

## Application Fees – as per Fee Schedule worksheet

CHECK NON-REFUNDABLE FEES      CHECK # \_\_\_\_\_ AMOUNT \$ \_\_\_\_\_

CHECK ESCROW      CHECK # \_\_\_\_\_ AMOUNT \$ \_\_\_\_\_  
 (UNUSED FEES ARE REFUNDABLE)

IS APPLICATION COMPLETE?      YES  NO  DATE \_\_\_\_\_

APPLICANT'S SIGNATURE: \_\_\_\_\_

PLANNING BOARD SECRETARY OR DESIGNEE:      COMPLETE \_\_\_\_\_  
 INCOMPLETE \_\_\_\_\_

DATE \_\_\_\_\_

CASE # \_\_\_\_\_

FEE (PAID): \$ \_\_\_\_\_

DATE (OF ACTION): 4/23/2024

THIS SECTION ABOVE IS FOR PLANNING BOARD USE ONLY

### Keansburg Planning Board of Adjustment - Statement & Variance

Sheets - pgs. 2 & 3

1. I (we), Julia & William Luchner, The Applicant(s) Herein, whose Address is,

155 Maple Ave, am the Owner(s)  int:

Prospective Purchaser(s) [ ] int: Single family home of property located on, Maple and designated as

Block: 79 and Lot 30 on the Official Keansburg Tax Map.

2. Said property is in a R5 ZONE, and is 50x75 (Size) and has the following

Structures on the property: Single family, Shed, Storage tent,

3. Request is Hereby made for permission To: (Indicate type(s) of structure(s) and use thereof:

Prize House and add addition 3 Bedroom 1 Bath. Use for single family Residence

4. The proposed structure or use is contrary to the Zoning/Development regulations of Keansburg. \_\_\_\_\_

5. The following is contrary to the Development Ordinance: list & detail all Variances to be sought.

Minimum lot area of 3,750 sq ft where 5,000 sq ft required  
Minimum front yard setbacks of 10' where 25' required  
Minimum side yard setbacks of 1.2' where 7.5' required  
Minimum rear yard setbacks of 24.2' where 25' required  
Maximum lot coverage Principal of 19% where 25% required  
*Details and Variances can be obtained from the Zoning Denial Letter which must be included in packet*

6. Is the entire tract of land, Block 79 Lot: 30 intended to be used?  YES  NO

7. Has the property been separated from an adjoining parcel?  YES  NO, if so when \_\_\_\_\_

If YES, has The Planning Board approved the subdivision, \_\_\_\_\_ Date: \_\_\_\_\_

→ Maximum lot coverage all. 37% where 50% required  
Maximum building Height of 3 stories where 2.5 required

# Statement & Variance Sheet - Continued:

8. Has there been any previous appeal involving this parcel/premises? [ ] YES  NO int: \_\_\_\_\_

If so, state date of filing: N/A List all the details and results of the Appeal.

9. By filing this application does the applicant (s) waive any and all rights gained previously Yes

10. Are there any open construction permits, permit fees, code violations, or court case that may with due cause prevent the Planning Board from hearing this application? [ ] YES  NO

If Yes, List details: N/A

11. Attached hereto and made part thereof are all of the required 21 sets (packets) as detailed within the Checklist page (pg.1), including 21 sets of drawings, DRA WN TO SCALE, and containing all of the necessary measurements (setbacks, elevations, lot & structure square footage), and all structures and accessories (decks, garages, sheds, pools, fences, driveways, sidewalks, walks, patios, etc.) that are instal1ed or within the confines of said property and are part and parcel of this application.

12. Check or Money Order for the Escrow (refundable balance) amount listed \$ \_\_\_\_\_

I (we), the undersigned, being duly sworn according to law upon my oath do depose and state that all of the statements contained herein are based on my own knowledge and are true and correct.

Signed: \_\_\_\_\_ Date: \_\_\_\_\_

\* If the applicant is NOT the owner of the property herein, the owner must sign the following consent

\* The foregoing application is hereby consented this \_\_\_\_\_ Day of \_\_\_\_\_ 20

Owner's Signature: William Dachsinger Jr Date: 4/22/2024

Sworn to and subscribed before me on this 22nd Day of (Month) April .20. 24

Notary Signature: Jessica M. McLane

Date: 4/22/24

JESSICA M. McLANE  
NOTARY PUBLIC OF NEW JERSEY  
ID No. 2323611  
My Commission Expires Jan. 6, 2025

Two (2) application packets Must have raised Seal

Seal

# Legal Notice

## Borough of Keansburg

### Planning Board Of Adjustment

You are hereby notified that an appeal from the action of the zoning officer of the Borough of Keansburg for a variance, Interpretation, and site plan, from Section 22-7.3e and 22-5.2c of the Development Regulations of the Borough of Keansburg, Chapter 22 of the Revised General Ordinances of the Borough of Keansburg so as to permit:

- To permit a minimum lot area 3,750 SF where 5,000 SF is required
- To permit a minimum lot frontage of 50' where 50' is required
- To permit a minimum front yard setback of 10' where 25' is required
- To permit a minimum side yard setback of 1.2' where 7.5 is required
- To permit a minimum side yard setback (total) of 27.6' where 15' is required
- To permit a minimum rear yard setback of 24.2' where 25' is required
- To permit a maximum lot coverage-principal building of 19% where 25% is required
- To permit a minimum lot coverage all of 37% where 50% is required
- To permit a maximum Building Height of 3 stories where 2.5 is required
- To permit a minimum improved off-street parking of 2 where 2 is required

On premises located at 155 Maple Ave, Keansburg, New Jersey Block: 79 Lot: 30

The Keansburg Planning Board of Adjustment has Been Scheduled for July 8th, 2024 at 7:00 pm in the Council Chambers of the Municipal Building, 29 Church Street, Keansburg, NJ as the time and place for said appeal

You or your agent are privileged to attend said hearing and may present any and all objections which you may have to the granting of the relief sought in the petition. The application and related documents are in file in the office of the Municipal Clerk and are available for review and inspection.

/s/ Julia & William Luchsinger Jr  
Applicant

**Keansburg Planning Board of Adjustment  
Borough of Keansburg, Monmouth County, New Jersey**

In the Matter of the application of:

**PROOF OF SERVICE**

County of Monmouth  
State of New Jersey

I Julia Williams <sup>Keansburg</sup> being duly sworn on my Oath, Depose and say: I am the owner, Applicant,

Agent, of Applicant \_\_\_\_\_

That at the date herein after stated I served a Notice of which the annexed is a true Copy, upon the following property owners each of whose property is within Two Hundred Feet of the property of the Applicant to be affected in this matter, in the manner following, that is to say:

- A. Personally, by handing such a true copy to said property owners, being residents of the Borough of Keansburg as follows: (Attachment)
- B. By mailing via registered mail, such a true copy to the last known address of the property owners, as shown by the most recent Tax list of said Borough, said persons being non-residents of said Borough, as follows: (Attachment)
- C. One legal notice to be placed in one of the approved papers of the Borough - The Star Ledger (973-392-4104) or The Asbury Park Press (732-643-3661). An affidavit of Publication, along with an actual copy of the publication must be filed with the Planning Board Secretary.

Sworn to and subscribed before me on this 22<sup>nd</sup> Day of (Month) April 2024

Notary Signature: Jessica M. McLane

Date: 4/22/24

JESSICA M. McLANE  
NOTARY PUBLIC OF NEW JERSEY  
ID No. 2323611  
My Commission Expires Jan. 6, 2025

Two application packets. Must have raised a raised Seal

Seal



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## BOROUGH OF KEANSBURG

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OFFICE OF THE TAX COLLECTOR

Date: 4-11-2024

Block 79 Lot 30 Qualifier N/A

Address: 155 Maple Ave  
Keansburg, NJ 07734

Please Be advised that the above-referenced account is current as of this date.

Very truly yours,

Thomas P. Cusick  
Tax Collector

*I verify that this information accurately reflects  
municipal tax records.*

Tax Collector  
Keansburg Borough  
Monmouth County



**ELEVATION CERTIFICATE**  
**IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11**  
**BUILDING PHOTOGRAPHS**  
 See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:  
 155 Mapile Avenue

City: Keansburg State: NJ ZIP Code: 07734

**FOR INSURANCE COMPANY USE**

Policy Number: \_\_\_\_\_  
 Company NAIC Number: \_\_\_\_\_

Instructions: Insert below at least two and when possible four photographs showing each side of the building (for example, may only be able to take front and back pictures of townhouses/rowhouses). Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." Photographs must show the foundation. When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.



Pr

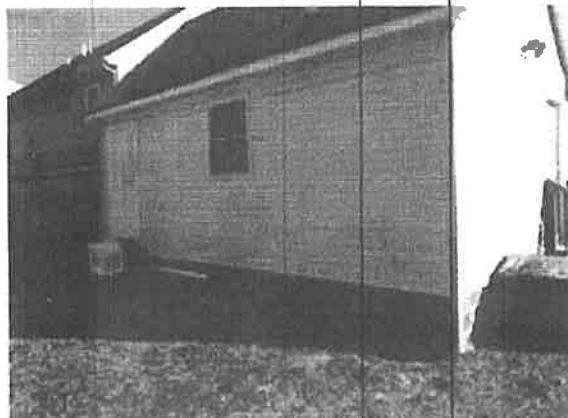


Photo Two Caption:

Clear Photo Two



**ELEVATION CERTIFICATE**  
**IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11**  
**BUILDING PHOTOGRAPHS**

Continuation Page

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:  
155 Mapile Avenue

City: Keansburg State: NJ ZIP Code: 07734

**FOR INSURANCE COMPANY USE**

Policy Number: \_\_\_\_\_

Company NAIC Number: \_\_\_\_\_

Insert the third and fourth photographs below. Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.

Photo Three

Photo Three Caption:

Clear Photo Three

Photo Four

Photo Four Caption:

Clear Photo Four