

PROPERTY OWNERS WITHIN 200'

| Block | Lot | Property Owners | Block | Lot | Property Owners |
|---|------|--|---|------|---|
| 1 | 1.01 | PS Marine Services, LLC 100 Laurel Avenue Hazlet, NJ 07734 | 77 | 6 | Cruz Gerard W & Michelle L 25 Howard Avenue Keansburg, NJ 07734 |
| RECEIVED FROM TOWNSHIP OF HAZLET TAX ASSESSMENT DEPARTMENT ON OCTOBER 30, 2023. | | | | | |
| 70 | 10 | New Jersey State Dept of EP Mail Code 501-01 Box 420 Trenton, NJ 08625 | 77 | 7 | McGrath Timothy & Tai Karyan 29 Howard Avenue Keansburg, NJ 07734 |
| 70 | 11 | Four A Realty, LLC 513 Cookman Avenue Asbury Park, NJ 07712 | 77 | 8 | Herer Rachael 31 Howard Ave. Keansburg, NJ 07734 |
| 70 | 12 | Four A Realty, LLC 513 Cookman Avenue Asbury Park, NJ 07712 | 78 | 1.01 | Cooper David 112 Creek Rd. Keansburg, NJ 07734 |
| 70 | 13 | Four A Realty, LLC 513 Cookman Avenue Suite 203 Asbury Park, NJ 07712 | 78 | 1.02 | Cooper David 112 Creek Rd. Keansburg, NJ 07734 |
| 70 | 14 | Mavilla Mark M 1204 Hetfield Avenue Scotts Plains, NJ 07076 | 78 | 1.03 | Cooper David 112 Creek Rd. Keansburg, NJ 07734 |
| 70 | 15 | Mason Marc G 129 Creek Road Keansburg, NJ 07734 | 78 | 2 | Copertino George J & Robin 52 Roland St. Keansburg, NJ 07734 |
| 70 | 16 | Vansant Wayne J & Gamache Nicole 83 Kennedy Way Keansburg, NJ 07734 | 79 | 1.01 | Patel Sanjay & Bhavin N 9 Towerhill Lane Old Bridge, NJ 08857 |
| 70 | 17 | Guntur Ricardo & Talenta Tiara 131 Creek Rd. Keansburg, NJ 07734 | 79 | 3 | O Dwyer Holdings, LLC 96 Wash Ave S 79 Washington St. Keyport, NJ 07735 |
| 70 | 8 | Campbell Scott 81 Creek Road Keansburg, NJ 07734 | 79 | 5 | Nelson Terrence & Destefano Sabri 90 Washington Pl. Keansburg, NJ 07734 |
| 70 | 9 | New Jersey State Dept of EP Mail Code 501-01 Box 420 Trenton, NJ 08625 | 79 | 32 | Commarato Yolanda & Ketham Wayne 120 Creek Rd. Keansburg, NJ 07734 |
| 77 | 1 | Hamilton Sean & Jennifer 84 Creek Road Keansburg, NJ 07734 | 79 | 33 | Murphy Susan C 126 Creek Rd. Keansburg, NJ 07734 |
| 77 | 10 | Demirci Adrenne & Blanco Marco 130 Creek Road Keansburg, NJ 07734 | 79 | 34 | Snyder Lauren R 128 Creek Rd. Keansburg, NJ 07734 |
| 77 | 11 | Douglas Stephen P. & Irene P 96 Creek Road Keansburg, NJ 07734 | 79 | 35 | Hodovich Robert 130 Creek Rd. Keansburg, NJ 07734 |
| 77 | 2 | Protenits Paula C 34 Willow Street Keansburg, NJ 07734 | 79 | 4 | Gimbert Linda L 84 Washington Place Keansburg, NJ 07734 |
| 77 | 5 | Schwartz Eugene & Barbara 1594 Conroy Road Toms River, NJ 08755 | RECEIVED FROM BOROUGH OF KEANSBURG TAX ASSESSOR'S OFFICE ON OCTOBER 19, 2023. | | |

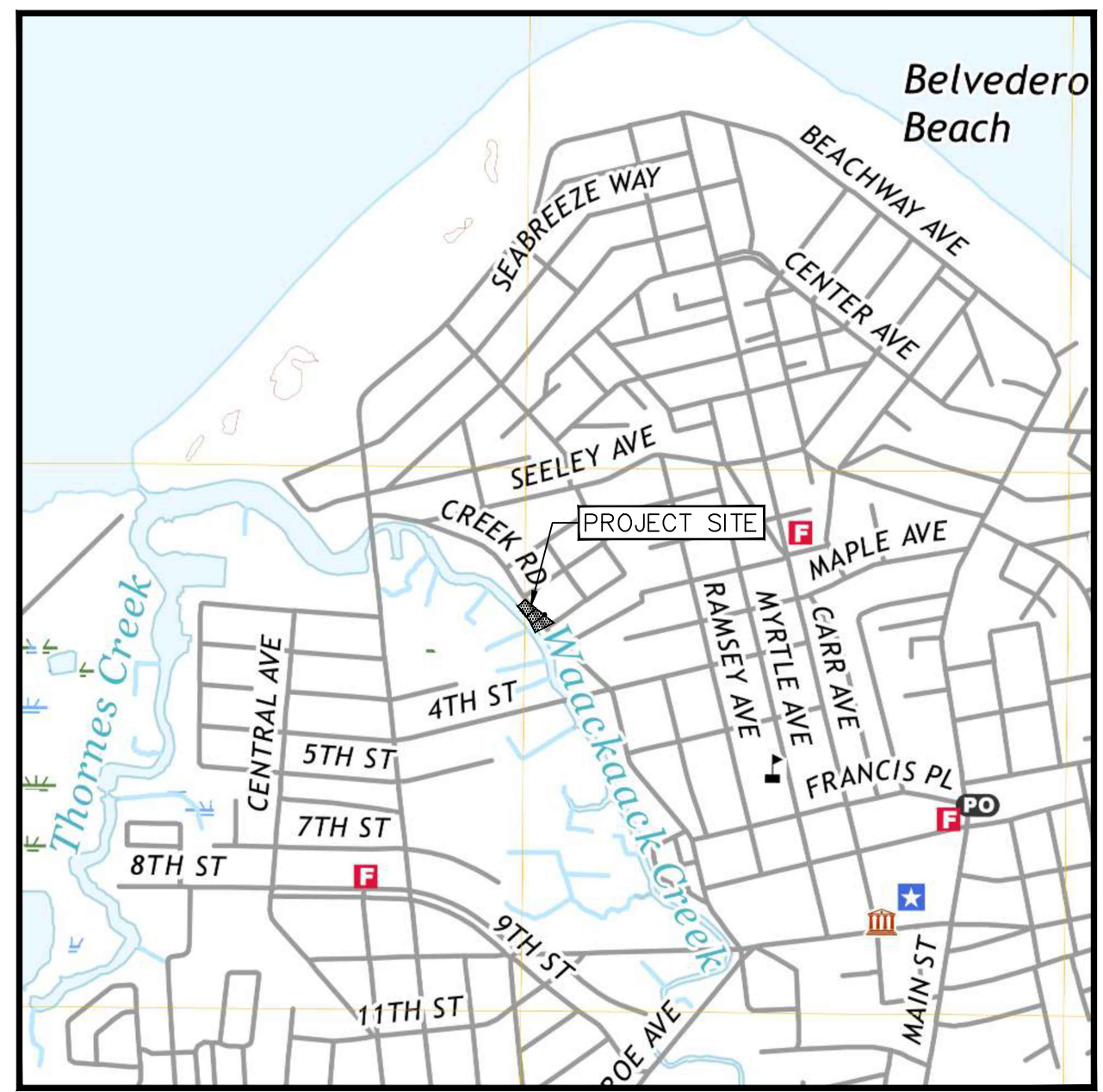
USE VARIANCE, MAJOR SITE & MINOR SUBDIVISION PLAN 103 & 115 CREEK ROAD BLOCK 70; LOTS 11, 12 & 13 BOROUGH OF KEANSBURG, MONMOUTH COUNTY, NEW JERSEY

UTILITY CONTACTS

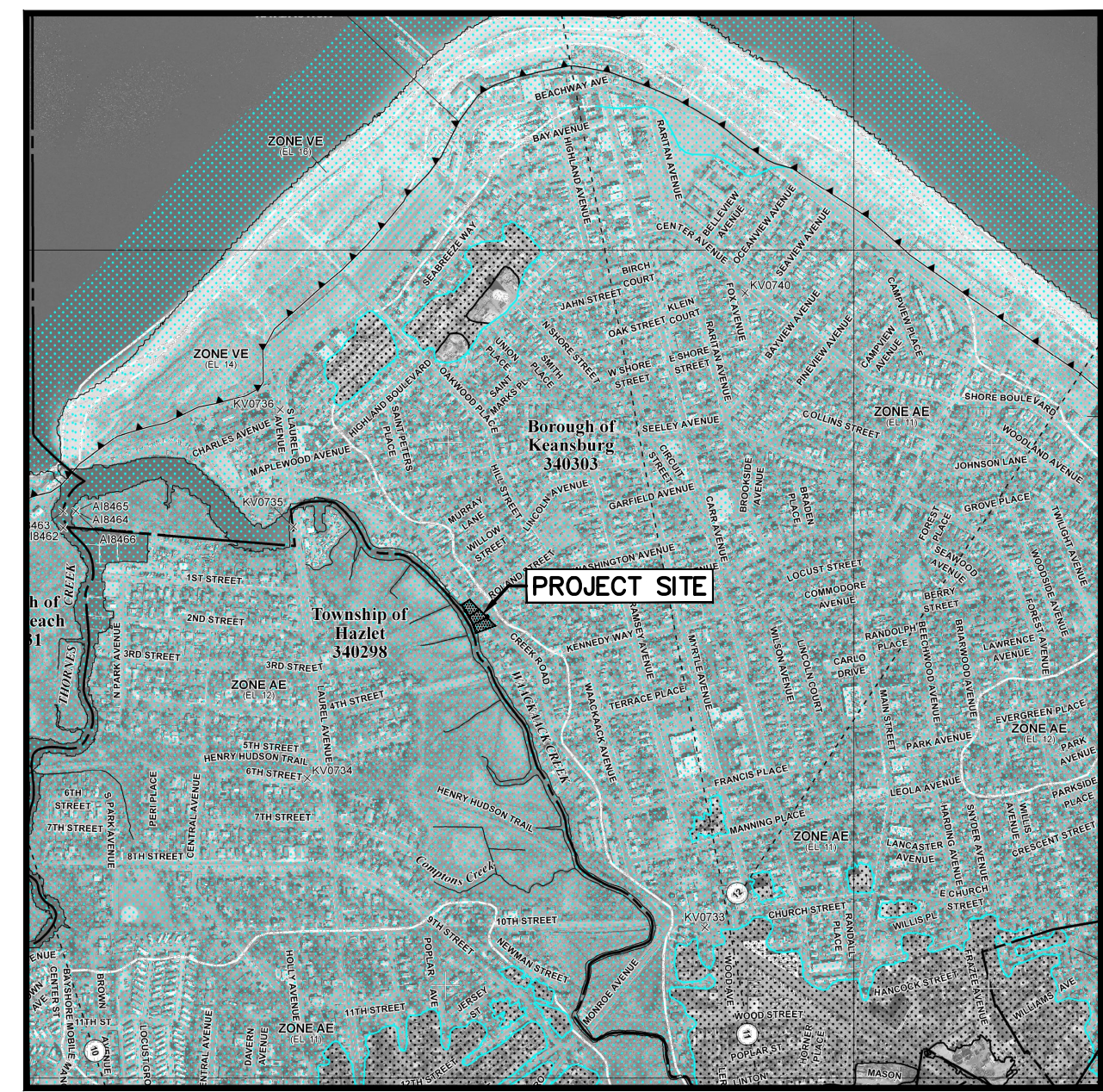
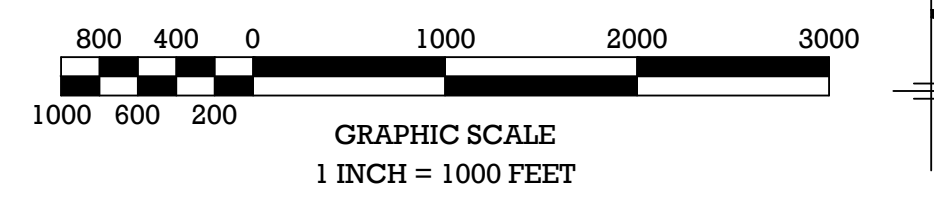
| | |
|--|---|
| Bayshore Regional Sewerage Authority 100 Oak Street Union Beach, NJ, 07735 | Hazlet Township Sewer Utility Dept. 1766 Union Avenue Hazlet, NJ, 07730 |
| Bayshore Outfall Authority P.O. Box 184 Belford, NJ 07718 | AT & T Company 900 US Highway 202/206 Bedminster, NJ, 07921 |
| NJ American Water 1709 Union Avenue P.O. Box 158 Hazlet, NJ, 07730 | Jeff Bowiby, Manager NJ American Water co. 663 Shrewsbury Avenue Shrewsbury, NJ, 07702 |
| William Brandow, Maintenance Supervisor Comcast Cablevision of Monmouth County 403 South Street Eatontown, NJ, 07724 | Verizon - New Jersey P.O. Box 152206 Irving, TX, 75015-2206 |
| Jersey Central Power and Light Co. c/o FE Service Tax Dept. 300 Madison Avenue P.O. Box 1911 Morristown, NJ 07962-1911 | Rick Albanese, Right of Way Claim New Jersey Natural Gas Co. 1415 Wyckoff Road P.O. Box 1464 Wall, NJ 07719 |
| Township of Hazlet c/o Township Clerk 1766 Union Avenue P.O. Box 371 Hazlet, NJ, 07730 | Department of Transportation DOT Maintenance 1035 Parkway Avenue P.O. Box 600 Trenton, NJ 08625 |
| County of Monmouth c/o Monmouth County Planning Board Hall of Records Annex 1 East Main Street Freehold, NJ 07728 | Keansburg Water & Sewer 29 Church Street Keansburg, NJ 07734 |
| RECEIVED FROM TOWNSHIP OF HAZLET TAX ASSESSMENT DEPARTMENT ON OCTOBER 30, 2023. | Keansburg Board of Fire Commissioners 29 Church Street Keansburg, NJ 07734 |
| Cablevision Raritan Valley 275 Centennial Avenue CN 6805 Piscataway, NJ 08855 Attn.: Construction Department | NJ Natural Gas Company 1415 Wyckoff Road Wall, New Jersey 07719 |
| RECEIVED FROM BOROUGH OF KEANSBURG TAX ASSESSOR'S OFFICE ON OCTOBER 19, 2023. | Verizon 540 Broad Street Newark, NJ 07102 |

SHEET INDEX

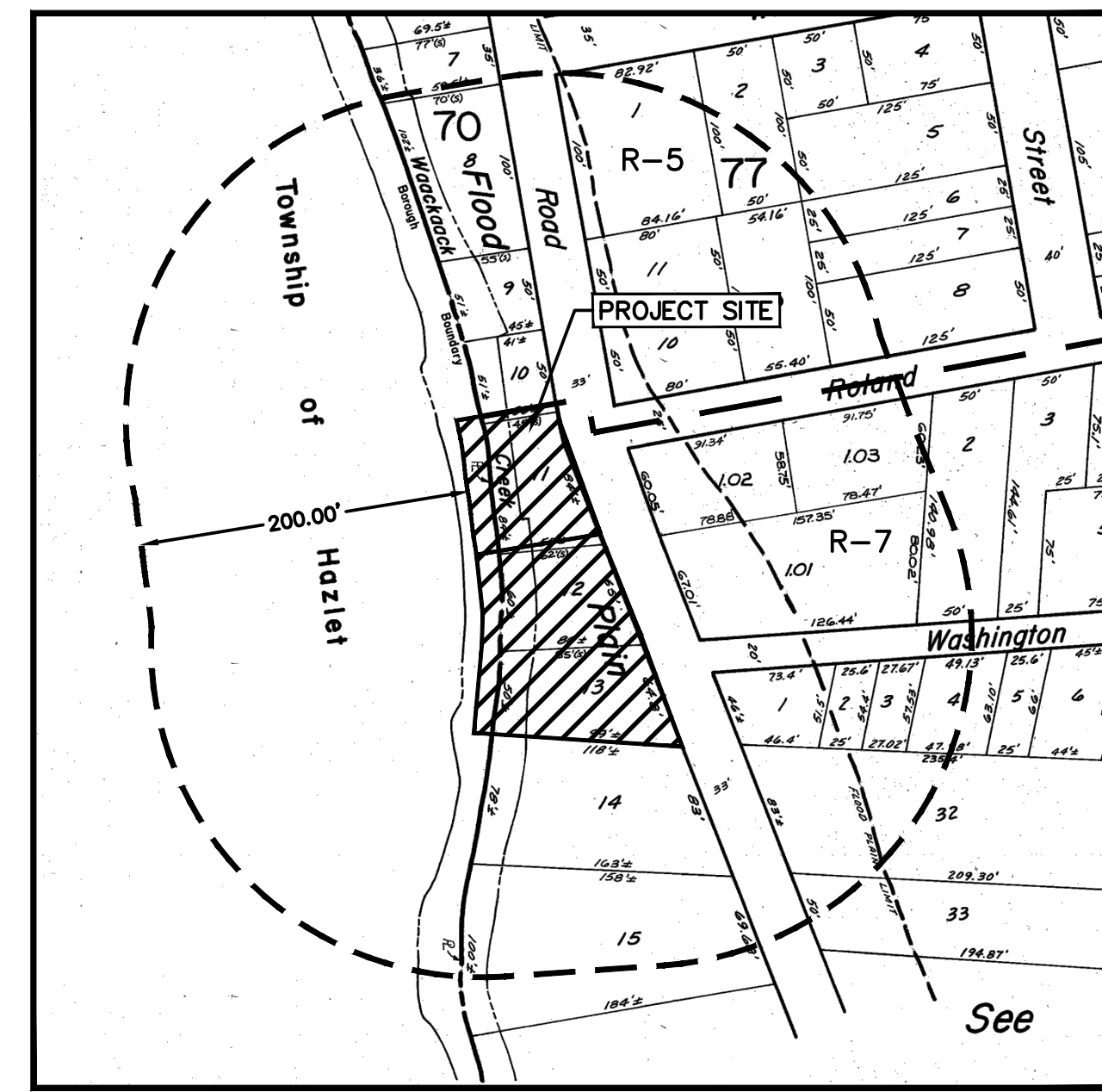
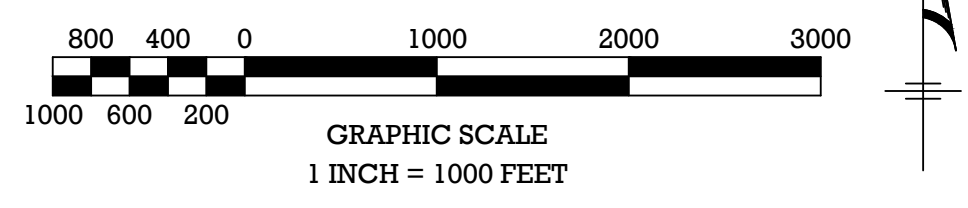
| No. | Description | Revision Date |
|-------|---|---------------------|
| CO.01 | COVER SHEET | ORIGINAL SUBMISSION |
| C1.01 | EXISTING CONDITIONS & DEMOLITION PLAN | ORIGINAL SUBMISSION |
| C3.01 | SITE LAYOUT PLAN | ORIGINAL SUBMISSION |
| C3.02 | LOT LAYOUT PLAN | ORIGINAL SUBMISSION |
| C4.01 | GRADING & UTILITY PLAN | ORIGINAL SUBMISSION |
| C6.01 | LANDSCAPE & LIGHTING PLAN | ORIGINAL SUBMISSION |
| C8.91 | LANDSCAPE & LIGHTING DETAILS | ORIGINAL SUBMISSION |
| C8.01 | SOIL EROSION & SEDIMENT CONTROL PLAN | ORIGINAL SUBMISSION |
| C8.91 | SOIL EROSION & SEDIMENT CONTROL DETAILS | ORIGINAL SUBMISSION |
| C9.01 | CONSTRUCTION DETAILS | ORIGINAL SUBMISSION |



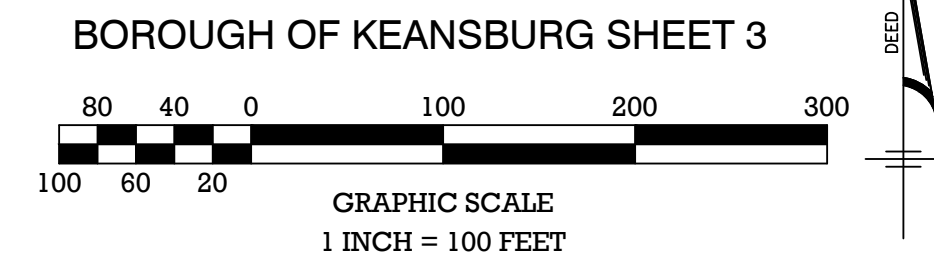
USGS QUAD MAP
KEYPORT, NJ, NY



FEMA FLOOD MAP
MAP NUMBER 34025C0034G



TAX MAP
BOROUGH OF KEANSBURG SHEET 3



General Notes

- Applicant & Owner**
Four A Realty, LLC
513 Cookman Avenue
Asbury Park, NJ 07712
- Project site being known and designated as Block 70, Lots 11 through 13 as shown on the current tax assessment map of the Borough of Keansburg, Monmouth County, New Jersey (Sheet 13), containing 0.26 acres.
- Boundary, topographic information, and existing conditions shown based upon maps entitled "Boundary & Topographic Survey, Block 70, Lots 11 & 12, Tax Plate 13, Creek Road, situated in, Borough of Keansburg, Monmouth County, New Jersey" prepared by MidAtlantic Engineering Partners, dated 12/13/23 and "Plan of Survey, Block 70, Lots 12 & 13, 115 Creek Road, situated in, Borough of Keansburg, Monmouth County, New Jersey" prepared by MidAtlantic Engineering Partners, dated 12/20/19.
- Site coordinates: 587,809' N, 592,684' E
- Horizontal Datum: NAD 83 Vertical Datum: NAVD 88
- Property is located in Zone AE (E111) per FEMA's Flood Insurance Rate Map numbered 34023C0034F, with an effective date of September 25, 2009. Property also located on Zone AE (E112) per FEMA's Preliminary Flood Insurance Rate Map numbered 34025C0034G having a preliminary date of January 31, 2014.
- Based on NIDEP GIS review, no wetlands or wetland transition areas exist on-site.
- The contractor is directed to the fact that the approximate locations of known utility structures and facilities (including but not limited to sanitary sewers, storm sewers, potable water lines and appurtenances, natural gas lines, electric, telephone and CATV lines and underground storage tanks) that may be encountered within and adjacent to the limits of the work are shown on the plans. The accuracy and completeness of this information is not guaranteed by the engineer, and the contractor is advised to verify in the field all the facts concerning the location of these utilities or other construction obstacles prior to construction. The contractor shall notify the engineer, in writing, prior to construction, of any discrepancies which may affect the project design.
- The contractor shall verify locations of existing utilities and all other site conditions prior to beginning construction. Location of existing utilities shown on these drawings are approximate and subject to exact location in the field during construction as required by engineer or as deemed necessary to accurately locate (horizontal and vertically) all impacted utilities which are in conflict with new construction. Contractor to determine the location and elevation of the conflicting utilities and submit the data to the engineer for review elevation prior to construction.
- All construction and demolition shall conform to any applicable federal, state and local regulations. Contractor has sole responsibility for site safety and to conform to and abide by all current OSHA standards or regulations. Safe construction practices remain the obligation of the contractor. The contractor shall obtain all applicable federal, state and local permits prior to construction.
- All contractors must call the New Jersey one call system (1-800-272-1000) to have all underground utilities located prior to any demolition, construction, abandonment, soils investigation, and/or excavations.
- All construction to be in accordance with *NIDOT Standard Specifications for Road and Bridge Construction*, latest edition. All signage and striping to be in accordance with *The Manual on Uniform Traffic Control Devices (MUTCD)*.
- The Applicant shall secure Treatment Works Approval from the New Jersey Department of Environmental Protection.

| DATE | REVISIONS | DRAWN BY | CHECKED BY |
|------|-----------|----------|------------|
| | | | |

| | | | |
|-----------------------|----------------|---------------------------------------|---------------------|
| DRAWN BY: LV | CHECKED BY: MS | HORIZONTAL SCALE: AS SHOWN | VERTICAL SCALE: N/A |
| PROJECT No.: SE1-2301 | DATE: 03/04/24 | Professional Engineer & Land Surveyor | |

Joseph Mele, P.E. & P.L.S.
Professional Engineer & Land Surveyor
N.J. Lic. No. 48299
Certificate of Authorization No. 24GSR84900

03/04/24

COVER SHEET
PROPOSED 4 UNIT TOWNHOUSE BUILDING
103 & 115 CREEK ROAD
BLOCK 70, LOTS 11, 12 & 13
SITUATED IN
BOROUGH OF KEANSBURG, MONMOUTH COUNTY, NEW JERSEY

MidAtlantic Engineering Partners
1071 Highway 94, Suite 201
Wall Township, NJ 07719
Tel: Laurel Top, NJ 08854
609-910-1450

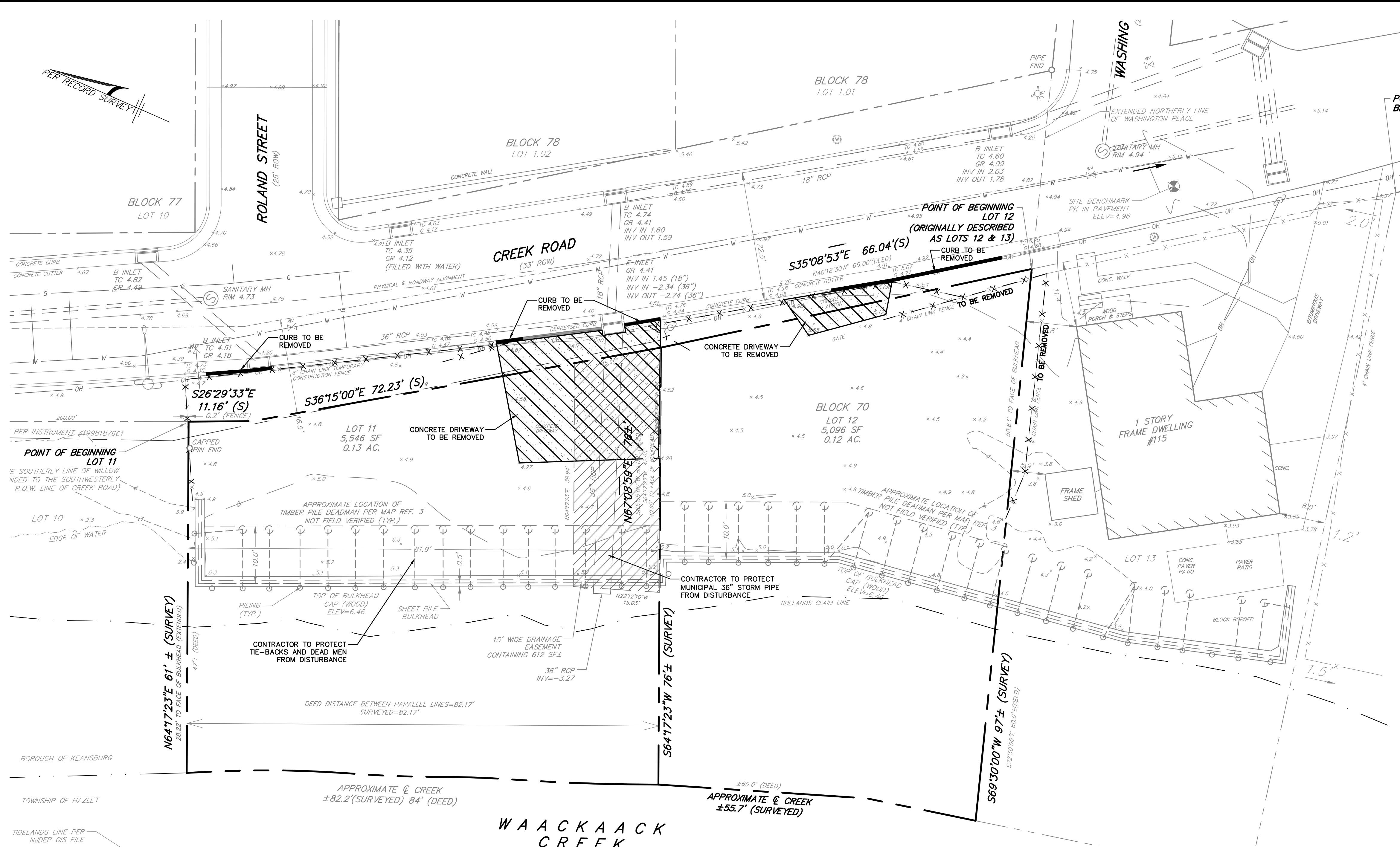
28 Washington St., 3rd Floor
Morristown, NJ 07960
Tel: 908-585-0020
609-910-1450

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APPROVED AS A PRELIMINARY/ FINAL
SITE PLAN BY THE BOROUGH OF
KEANSBURG PLANNING BOARD AT ITS
MEETING HELD ON _____

| | |
|-------------|------|
| BOARD CHAIR | DATE |
| SECRETARY | DATE |
| ENGINEER | DATE |

File Name: G:\Socomec Enterprises Inc\OBS\SE1-2301 - 103-115 Creek Road - Keansburg\DWG\C001-Cover.dwg
Plot Time: Mar 04, 2024 - 12:22:00pm



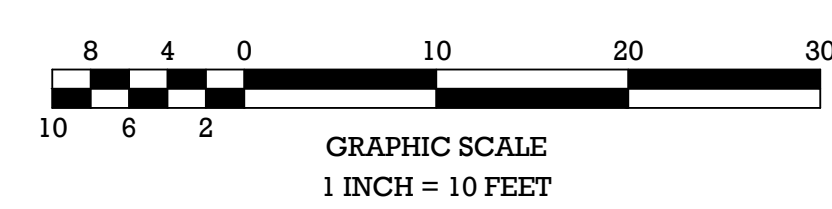
Removals Notes

- Project site being known and designated as Block 70, Lots 11, 12 & 13 as shown on the current tax assessment map of the Borough of Keansburg, Monmouth County, New Jersey (Sheet 13), containing 0.26 acres.
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- Site coordinates: 587,804' N, 592,698' E
- Horizontal Datum: NAD 83 Vertical Datum: NAVD 88
- Property is located in Zone AE (EL11) per FEMA's Flood Insurance Rate Map numbered 34023C0034F, with an effective date of September 25, 2009. Property also located on Zone AE (EL12) per FEMA's Preliminary Flood Insurance Rate Map numbered 34025C0034G having a preliminary date of January 31, 2014.
- Based on NJDEP GIS review, no wetlands or wetland transition areas exist on-site. The project site is located within the CAFRA review area.
- All construction and demolition shall conform to any applicable federal, state and local regulations. Contractor has sole responsibility for site safety and to conform to and abide by all current OSHA standards or regulations. Safe construction practices remain the obligation of the contractor. The contractor shall obtain all applicable federal, state and local permits prior to construction.
- All debris generated during construction such as trees, stumps, vegetation, dirt piles, construction debris, etc within the project's boundary shall be removed as part of this project and be disposed of off-site unless otherwise stated or approved.
- The contractor is directed to the fact that the approximate locations of known utility structures and facilities (including but not limited to sanitary sewers, storm sewers, potable water lines and appurtenances, natural gas lines, electric, telephone and CATV lines and underground storage tanks) that may be encountered within and adjacent to the limits of the work are shown on the plans. The accuracy and completeness of this information is not guaranteed by the engineer, and the contractor is advised to verify in the field all the facts concerning the location of these utilities or other construction obstacles prior to construction. The contractor shall notify the engineer, in writing, prior to construction, of any discrepancies which may affect the project design.
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- All contractors must call the New Jersey one call system (1-800-272-1000) to have all underground utilities located prior to any demolition, construction, abandonment, soils investigation, and/or excavations.

In the event that any existing street trees are removed during the construction of the project, they shall be replaced by the applicant.

REMOVALS LEGEND

| EXISTING | REMOVALS |
|----------|------------------|
| | BOUNDARY |
| | BUILDING |
| | MAJOR CONTOUR |
| | MINOR CONTOUR |
| | SPOT ELEVATION |
| | SANITARY PIPE |
| | SANITARY MANHOLE |
| | STORM MANHOLE |
| | INLET |
| | WATER LINE |
| | WATER VALVE |
| | SPRINKLER BOX |
| | GAS LINE |
| | GAS VALVE |
| | ELECTRIC LINE |
| | UTILITY POLE |
| | LIGHT POLE |
| | FENCE LINE |
| | GUIDE RAIL |
| | CURB |
| | SIGN |
| | HYDRANT |
| | CONCRETE |



| | |
|-------------------|------------|
| CHECKED BY: | MS |
| DRAWN BY: | LV |
| HORIZONTAL SCALE: | 1"=10' |
| VERTICAL SCALE: | N/A |
| PROJECT No.: | SEI-2301 |
| DATE: | 03/04/24 |
| REVISIONS | |
| DATE | |
| DRAWN BY | CHECKED BY |

Joseph Mele, P.E. & P.L.S.
 PROFESSIONAL ENGINEER & LAND SURVEYOR
 N.J. Lic. No. 48299
 Certificate of Authorization No. 24G08884900

03/04/24

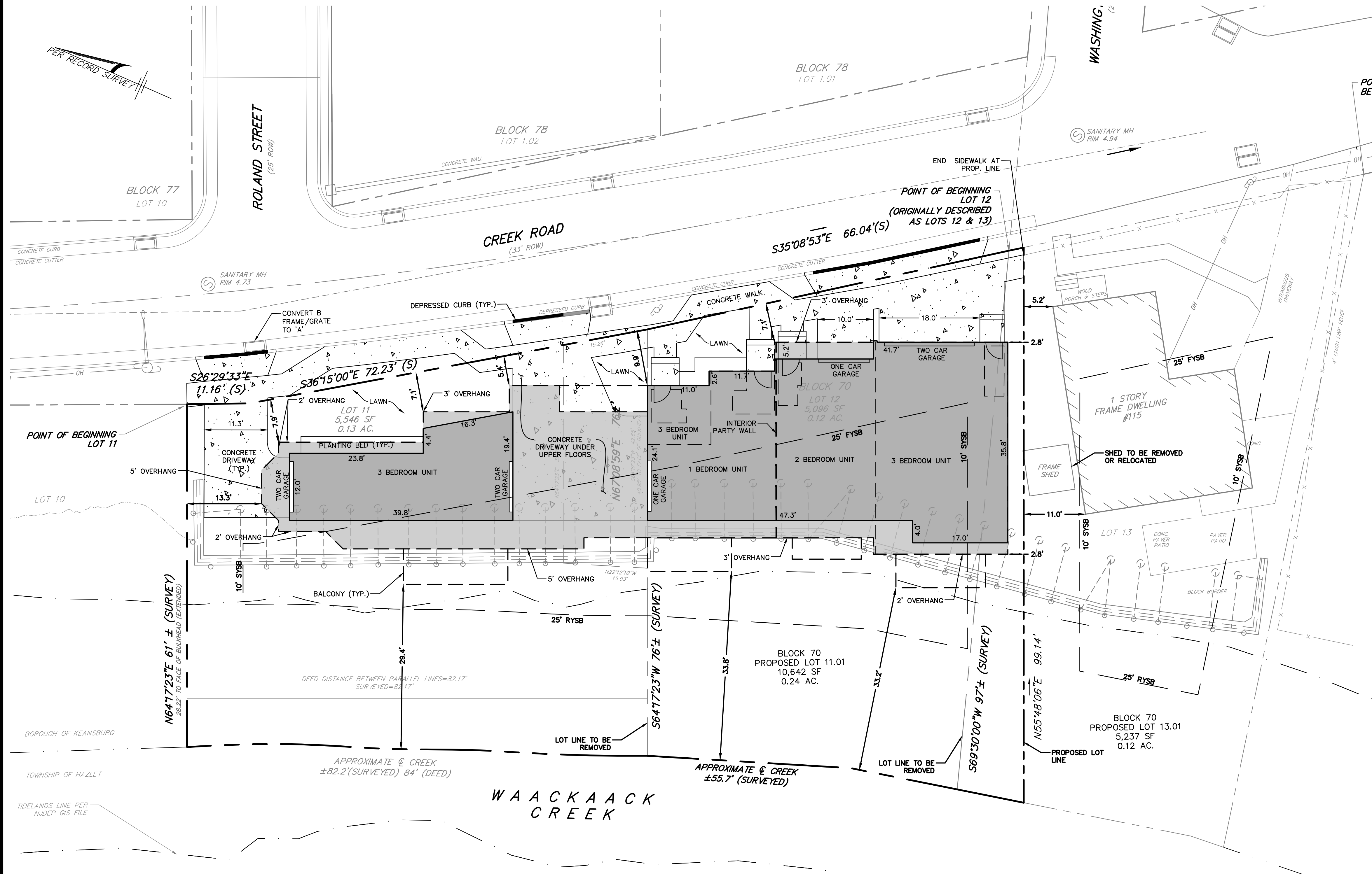
EXISTING CONDITIONS & DEMOLITION PLAN
 PROPOSED 4 UNIT TOWNHOUSE BUILDING
 103 & 115 CREEK ROAD
 BLOCK 70, LOTS 11, 12 & 13
 SITUATED IN
 BOROUGH OF KEANSBURG, MONMOUTH COUNTY, NEW JERSEY

MidAtlantic Engineering Partners
 28 Washington St., 3rd Floor
 Marlton, NJ 07960
 973-719-8626

301 W. State Street
 Marlton, NJ 08053
 610-985-0020
 732-722-8899

1071 Highway 94, Suite 201
 WRT Township, NJ 07719
 NJ Lateral Top. NJ 08054
 609-910-4450

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- Layout Notes:**
- Project site being known and designated as Block 70, Lots 11, 12 & 13 as shown on the current tax assessment map of the Borough of Keansburg, Monmouth County, New Jersey (Sheet 13), containing 0.26 acres.
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 - Site coordinates: 587,804' N, 592,698' E
 - Horizontal Datum: NAD 83 Vertical Datum: NAVD 88
 - All construction to be in accordance with NJDOT Standard Specifications for Road and Bridge Construction, latest edition. Pavement striping and/or traffic control signage shall be installed in strict accordance with requirements of The Manual on Uniform Traffic Control Devices (MUTCD).
 - All stop bars shall be 24" wide white thermoplastic stripe. All other striping may be epoxy.
 - All curb and sidewalks shall conform to state and federal barrier free design standards.
 - All sidewalk ramps marked HCR to have detectable warning surface installed in accordance with ADA regulations. All detectable warning strips shall be "replaceable wet-set" or equivalent. Surface mount or "stick on" warning strips are not permitted unless noted otherwise.
 - All proposed curbing to be vertical concrete curb, unless otherwise noted.
 - Existing concrete curbing and/or walks that will be removed shall be removed from an existing expansion joint or saw cut for removal at an existing construction joint.
 - Where concrete curbing will be constructed within, or adjacent to, existing bituminous pavement, it shall be saw cut and removed, clear through to the subgrade, a minimum distance of 18 inches from, and parallel to, the proposed curb face. This requirement may be modified in the field if the Municipal / County Engineer determines that "face forming" of new curbs is more desirable.
 - Sidewalk/walkway risers must be greater than 4" and less than 7".
 - This project has been designed in accordance with New Jersey Administrative Code, Title 5, Chapter 21, "Residential Site Improvement Standards" to the maximum extent feasible.
 - See architect's plans for building elevations and floor plans.
 - All contractors must call the New Jersey One Call System (800-272-1000) in accordance with the Underground Facilities Control Act Law prior to any subsurface activity.
 - The contractor's work shall be in conformance with NJDOT Standard Specifications for Road and Bridge Construction, latest edition.
 - All signage to be posted and striping to be installed in accordance with the United States Department of Transportation-Federal Highway Administration, "Manual on Uniform Traffic Control Devices for Street and Highways (MUTCD), latest edition.
 - The contractor shall:
 - Perform all work for the project in a finished and workmanlike manner to the satisfaction of the owner and in accordance with the best recognized trade practices.
 - Be responsible to maintain the site in a clean and organized manner.
 - Dispose of any and all construction debris in accordance with any local, state, or federal requirements.
 - Repair any damage to public streets, curbs, sidewalks and utilities as a result of construction activities.
 - Coordinate the construction schedule with the owner prior to start of work.
 - Obtain any required road opening permits and perform work in accordance with AHJ requirements.
 - Be responsible to provide traffic control including barricades, lighting, signage, etc. as may be necessary for completion of the project.
 - Be responsible for site safety & security and the means & methods of construction for project duration.
 - Confirm the location of all utilities prior to start of construction by requesting a utility mark out and completing tests as necessary.
 - Notify the owner and engineer of any required field change immediately.
 - Maintain dimensioned redline plans of all installed infrastructure and improvements that shall be provided to the owner / engineer noting the locations of all underground infrastructure such as electric conduit, water lines, roof leader collection piping etc.
 - Only import certified clean fill (if required) in accordance with NJDEP Technical Requirements N.J.A.C. 7:26E. All imported material requires approval by owner and their environmental consultant prior to placement onsite.

| PROJECT NAME: | | Zones: | |
|---|--------------------------|------------------------------------|----------------------|
| 115 Creek Road Borough of Keansburg | | R-7 Single Family Residential | |
| Proposed Non-Permitted Use | | Multi-Unit Townhouse | |
| Block 70; Proposed Lot 11.01 (Former Lots 11, 12 & a portion of 13) | | | |
| | Required | Previously Existing (Lots 11 & 12) | Proposed (Lot 11.01) |
| Min. Lot Area | 7500 sf | 10,643 sf | 11,357 sf |
| Min. Lot Frontage | 75 ft | 149 ft | 152 ft |
| Min. Front Yard Setback ² | 25 ft | 1.39 ft | 5.4 ft |
| Min. Side Yard Setback | | | |
| One Side | 10 ft | 13.82 ft | 2.8 ft |
| Total of two | 20 ft | 42.3 ft | 15.1 ft |
| Min. Rear Yard Setback | 25 ft | 33.97 ft | 29.4 ft |
| Min. Dia. Lot Shape | 55 ft | <55 ft | <55 ft |
| Max. Building Height | 35 ft | 16 ft | 48 ft |
| Max. Number of Stories | 2.5 | 1.5 | 4 |
| Max. Lot Coverage ¹ | 40% | 1,715 (16.1%) | 3,659 (32.2%) |
| Max. Principal Building Coverage | 25% | 9.2 | 21.9% |
| Min. Ground Floor Area Required | 600 sf | 984 sf | 2,490 sf |
| Off Street Parking | 9 (See Parking Schedule) | N/A | 8.5 |

¹Walkways which are an accessory to a single family dwelling and constructed on-grade shall be excluded from lot coverage calculations. Open porches, patios, terraces, and decks shall also be excluded when they do not exceed 30% of the principal building's ground floor area. Any area in excess of 30% shall be included as coverage.

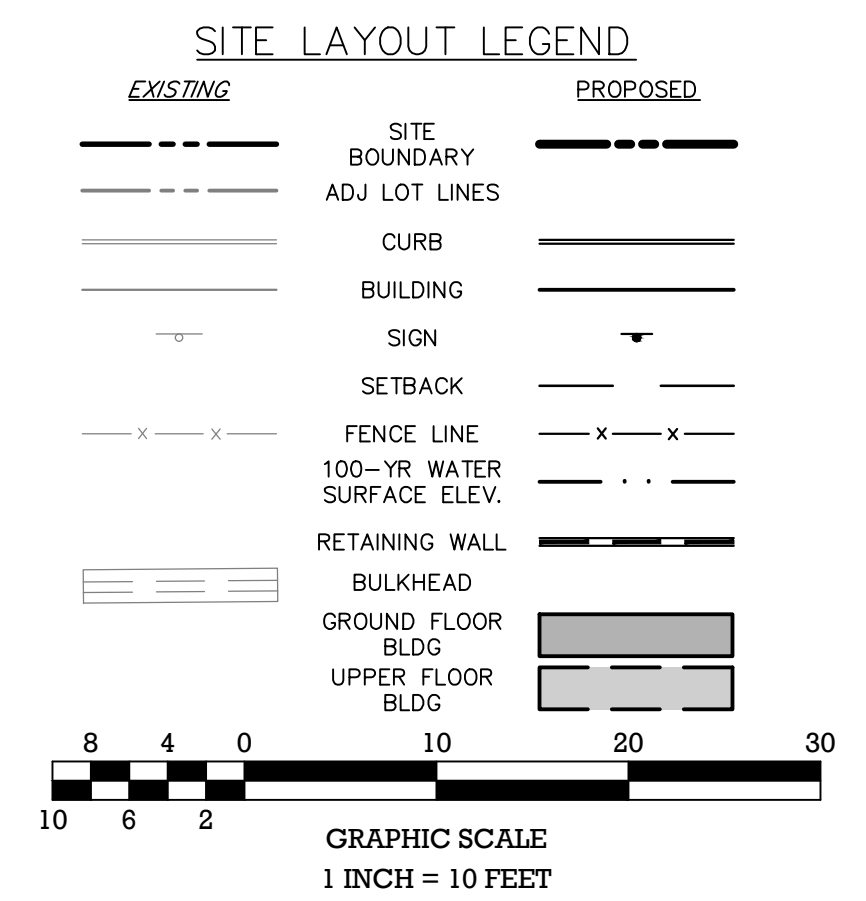
²Existing front yard setback taken from previously demolished 1 story dwelling on Lot 11.

| PROJECT NAME: | | Zones: | |
|---|----------|----------------------------------|----------------------|
| 115 Creek Road Borough of Keansburg | | R-7 Single Family Residential | |
| Proposed Non-Permitted Use | | Multi-Unit Townhouse | |
| Block 70; Proposed Lot 13.01 (Formerly a portion of Lot 13) | | | |
| | Required | Previously Existing (Lot 13) | Proposed (Lot 13.01) |
| Min. Lot Area | 7,500 sf | 5,951 sf | 5,237 sf |
| Min. Lot Frontage | 75 ft | 64.8 ft | 62.1 ft |
| Min. Principal Building Front Yard Setback | 25 ft | 11.4 ft | 11.4 ft |
| Min. Principal Building Side Yard Setback | | | |
| One Side | 10 ft | 8.0 ft | 5.2 ft |
| Total of two | 20 ft | 16.8 ft | 13.2 ft |
| Min. Principal Building Rear Yard Setback | 25 ft | 52.7 ft | 52.7 ft |
| Min. Accessory Use Side Yard Setback | 5 ft | 5.9 ft | N/A |
| Min. Accessory Use Rear Yard Setback | 5 ft | 53.9 ft | 54.8 ft |
| Min. Dia. Lot Shape | 55 ft | <55 ft | <55 ft |
| Max. Building Height | 35 ft | <35 ft | <35 ft |
| Max. Number of Stories | 2.5 | 1 Story | 1 Story |
| Max. Lot Coverage ¹ | 40% | 1,011 (17.0%) | 1,011 (19.3%) |
| Max. Principal Building Coverage | 25% | 15.9% | 18.0% |
| Min. Ground Floor Area Required | 600 sf | 944 sf | 944 sf |

¹Walkways which are an accessory use to a single family dwelling and constructed on-grade shall be excluded from lot coverage calculations. Open porches, patios, terraces, and decks shall also be excluded when they do not exceed 30% of the principal building's ground floor area. Any area in excess of 30% shall be included as coverage.

| PARKING SCHEDULE - Lot 11.01 | | | | | | |
|------------------------------|---------------|------------------|------------------|----------|-----------------|-----------------------|
| Use | Unit | Unit Amount | Unit Basis | Code Ref | SPACES REQUIRED | TOTAL AMOUNT PROVIDED |
| One-bedroom Townhouse | Dwelling Unit | 1 Dwelling Units | 1.8 space/ 1 DU | (1) | 1.8 | 2 |
| Two-Bedroom Townhouse | Dwelling Unit | 1 Dwelling Units | 2.3 spaces/ 1 DU | (1) | 2.3 | 1 |
| Three-Bedroom Townhouse | Dwelling Unit | 2 Dwelling Units | 2.4 spaces/ 1 DU | (1) | 4.8 | 5.5 |
| Total: | | | | | 8.9 | 8.5 |

Notes:
 (1) Requirement per NJ RSIS §5-21-4.14



BRN BY: LV
CHECKED BY: MS
HORIZONTAL SCALE: 1"=10'
VERTICAL SCALE: N/A

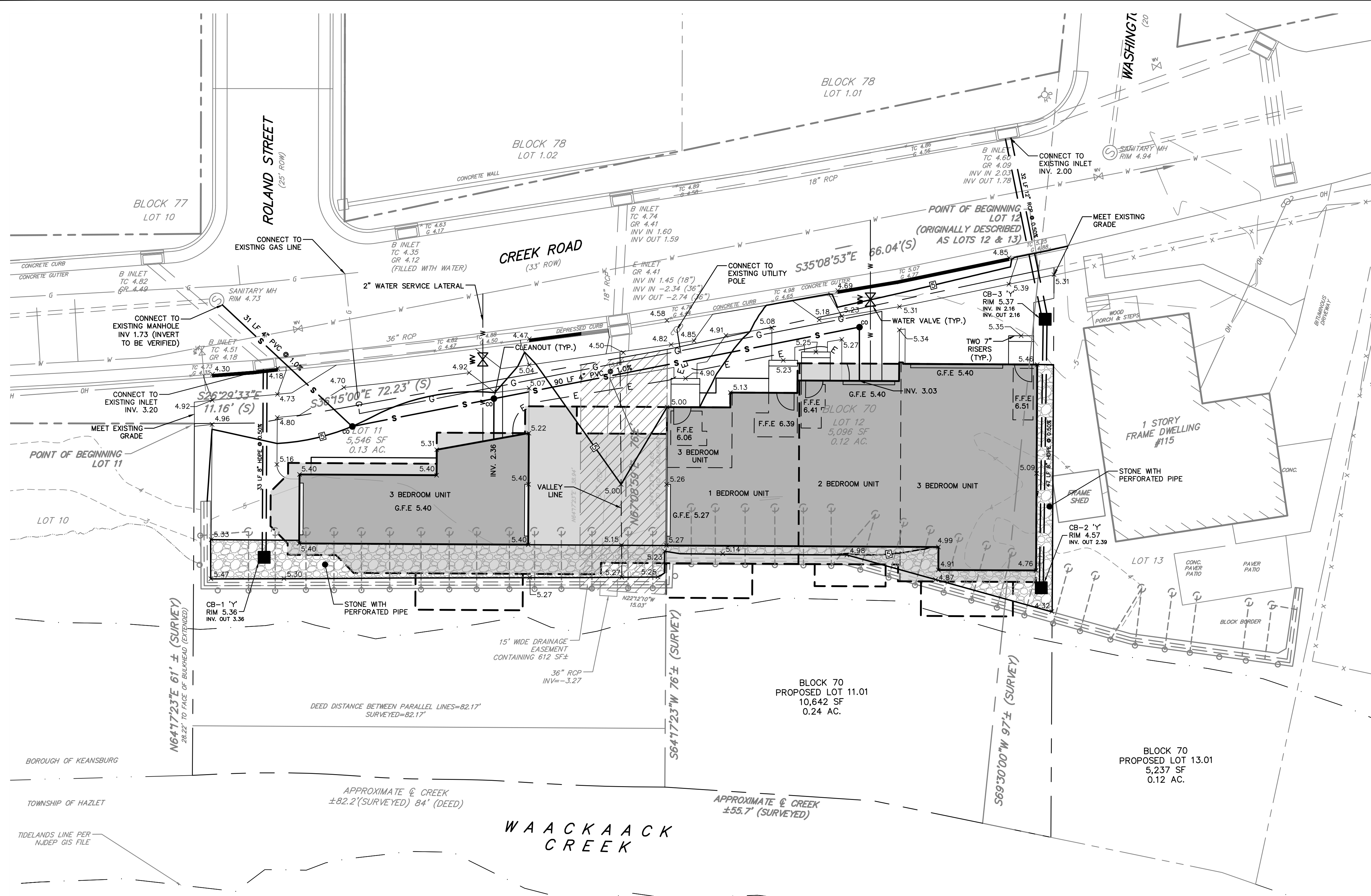
PROJECT No.: SEI-2301
DATE: 03/04/24

Joseph Mele, P.E. & P.L.S.
 PROFESSIONAL ENGINEER & LAND SURVEYOR
 N.J. Lic. No. 48239
 Certificate of Authorization No. 24G08884900

03/04/24

SITE LAYOUT PLAN
 PROPOSED 4 UNIT TOWNHOUSE BUILDING
 103 & 115 CREEK ROAD
 BLOCK 70, LOTS 11, 12 & 13
 SITUATED IN
 BOROUGH OF KEANSBURG, MONMOUTH COUNTY, NEW JERSEY

Sheet Number
C3.01



Utility Notes

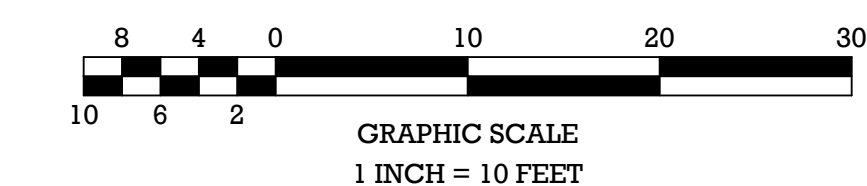
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 - All contractors must call the New Jersey One Call System (800-272-1000) in accordance with the Underground Facilities Control Act Law prior to any subsurface activity.
 - Attention to the contractor is directed to the fact that the approximate locations of known utility structures and facilities (including but not limited to sanitary sewers, storm sewers, potable water lines and appurtenances, natural gas lines, electric, telephone and CATV lines and underground storage tanks) that may be encountered within and adjacent to the limits of the work are shown on the plans. The accuracy and completeness of this information is not guaranteed by the engineer, and the contractor is advised to verify in the field all the facts concerning the location of these utilities or other construction obstacles prior to construction. The contractor shall notify the engineer, in writing, prior to construction, of any discrepancies which may affect the project design.
 - Contractor to perform test pits to verify existing utility depths, sizes and locations prior to connecting proposed sewer and water mains to existing sewer and water mains. The contractor shall notify the engineer in writing of any conflicts so that design modifications can be made if necessary.
 - All construction shall conform to any applicable federal, state and local regulations. Contractor has sole responsibility for site safety and to conform to and abide by all current OSHA standards or regulations. Safe construction practices remain the obligation of the contractor. The contractor shall obtain all applicable federal, state and local permits prior to construction.
 - See MEP/Architectural plans for all utility connections to building. All utility connections shall be reviewed & verified by the contractor prior to start of site construction.
 - Shop drawings and product catalog information for all water and sanitary sewer structures, conduits, materials, and appurtenances, to be provided to the project engineer for review and approval prior to purchasing.
 - All utility service connections to buildings to be located underground.
 - Pipe lengths indicated are measured center to center of each structure.
 - All sanitary and drainage structures shall be precast concrete unless otherwise specified.
 - Refer to water and sanitary sewer technical specifications for material, installation and testing requirements.
 - Unless otherwise indicated:
 - RCP shall be Class 3 wall, bell and spigot type with O-ring gaskets.
 - HDPE pipes shall be ADS N-12 with soil tight joints or approved equal.
 - DIP water main shall be Class PSI 350 cement lined ductile iron pipe (polyethylene encasement).
 - Sanitary sewer mains and laterals shall be PVC SDR-35, push on, gasketed joint (ASTM-3034).
 - All new water mains and services shall be installed with a minimum of 3.5 feet of cover (relative to proposed grade) over the pipe to prevent freezing.
 - All new sanitary sewer mains and laterals shall be installed with a minimum of 3 feet of cover (relative to proposed grade) over the pipe to prevent freezing.
 - 4" sanitary sewer laterals shall be sloped at 1:48 (2.1%). 6" laterals shall be sloped at 1:96 (1.05%).
 - A 10-ft. horizontal distance shall separate water mains and sanitary sewer mains. Where such separation is not possible, the water mains and sanitary sewer mains shall be installed in separate trenches with the water main at least 18 inches above the sewer main. Where such vertical separation is not possible, the sewer main shall be constructed with watertight joints for a distance of 10 feet in either direction of the water main (N.J.A.C. 7:10-11.7(d)-5).
 - Adequate structural support of sewers and water lines at all points of crossing shall be provided to prevent excessive deflection, settlement or damage. The crossings shall be arranged such that the joints in the pipes are equidistant and as far apart as possible from the other pipe.
 - Where utilities cross beneath existing / proposed water mains or storm and sanitary sewers, the utility contractor shall provide adequate structural support by installing select backfill from the utility to the spring line of the water main or sewer. Select backfill shall be clean sand or NJDOT soil I-9 compacted to 95% of the modified proctor aggregate type density ASTM D-698 Method D. It shall extend a minimum of 10 feet each way from the centerline of the crossing.
 - Electrical, telephone, CATV and all other wire-served utility extensions and services shall be installed underground with standards established by the servicing utility company.
- Electrical transformer pad specifications, conduit locations and installation to be coordinated with electric company prior to installation.

Grading Notes

- Horizontal Datum: NAD 83 Vertical Datum: NAVD 88
 - All curbs shall be pavement flush depressed at crosswalks and handicapped ramps to conform to applicable state and federal barrier free design standards.
 - ADA designated units are to conform to the accessibility standards set forth in the Americans with Disabilities Act.
 - All walkways to have a maximum cross slope of 2% and running slope of 5% unless otherwise noted.
 - Sidewalk/walkway risers must be greater than 4" and less than 7". Tread depth to be 11" min.
 - All proposed curbing shall have a 6" reveal, unless otherwise stated.
 - All grading within grassed areas to be a minimum of 2% and a maximum of 3:1 slope unless otherwise noted.
 - All grading in pavement areas shall be greater than 1% unless otherwise noted.
 - Positive drainage to be maintained from all buildings in accordance with applicable regulations and building code.
 - Floor elevations, adjacent grade, doorway locations and elevations shall be confirmed with architectural plans prior to construction by the contractor.
 - All grassed areas to have a minimum of 4" clean top soil when sod is being installed or 6" clean top soil for seeding applications.
 - All contractors must call the New Jersey One Call System (800-272-1000) in accordance with the Underground Facilities Control Act Law prior to any subsurface activity.
- Soil compaction to be per architectural requirements based on slab and footing design. 95% minimum compaction required per modified proctor moisture density test procedure ASTM D1557.

GRADING & UTILITY LEGEND

| EXISTING | | PROPOSED |
|----------|----------------------------|----------|
| --- | CONTOUR | --- |
| x 57.6 | SPOT ELEVATION | x 57.6 |
| --- | 100-YR WATER SURFACE ELEV. | --- |
| --- | SANITARY SEWER LINE | --- |
| --- | STORM SEWER LINE | --- |
| □ | INLET | ■ |
| ⊙ | STORM MANHOLE | ● |
| ⊙ | SANITARY MANHOLE | ⊙ |
| --- | SANITARY LATERAL | --- |
| --- | SANITARY CLEANOUT | --- |
| --- | WATER LINE | --- |
| --- | HYDRANT | --- |
| --- | WATER METER | --- |
| --- | WATER LATERAL | --- |
| --- | GAS LINE | --- |



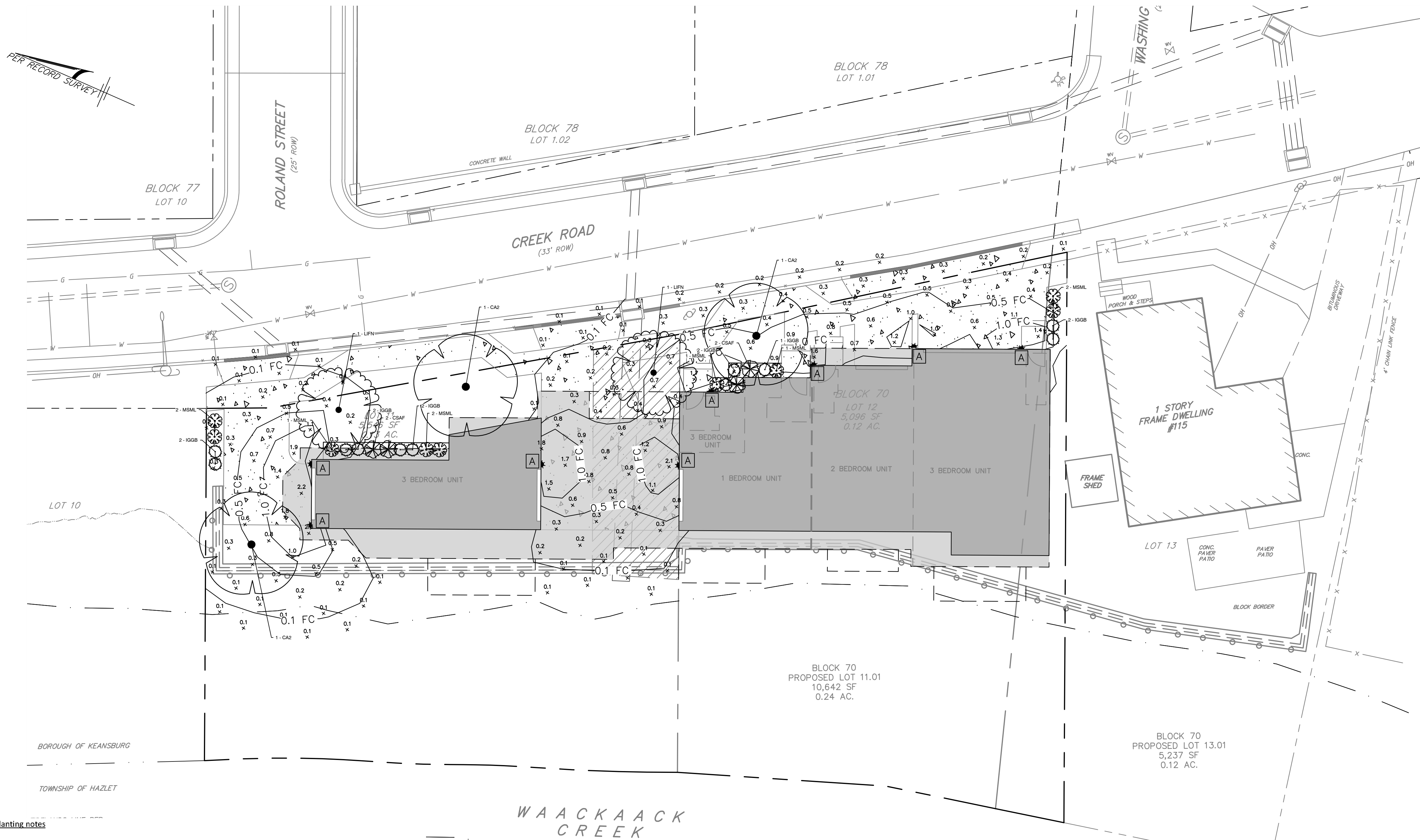
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| BRN BY: LV | CHECKED BY: MS |
| HORIZONTAL SCALE: 1"=10' | VERTICAL SCALE: N/A |
| PROJECT No.: SEI-2301 | DATE: 03/04/24 |

Joseph Mele, P.E. & P.L.S.
 PROFESSIONAL ENGINEER & LAND SURVEYOR
 N.J. Lic. No. 48259
 Certificate of Authorization No. 24GSR84900

GRADING & UTILITY PLAN
 PROPOSED 4 UNIT TOWNHOUSE BUILDING
 103 & 115 CREEK ROAD
 BLOCK 70, LOTS 11, 12 & 13
 SITUATED IN
 BOROUGH OF KEANSBURG, MONMOUTH COUNTY, NEW JERSEY

MidAtlantic Engineering Partners
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 973-718-8682
 301 W. State Street
 Marlinton, PA 16003
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 609-910-4450
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Planting notes

- The contractor shall be responsible for planting at correct grades and alignment. Layout to be approved by owner's representative prior to installation.
- Plants shall be typical of their species and variety; have normal growth habits; well-developed branches, densely foliated, vigorous root systems and be free from defects and injuries.
- All plant material shall be guaranteed by the contractor to be in vigorous growing condition. Provision shall be made for a growth guarantee of at least two years from the date of final approval by the borough. Replacements shall be made at the beginning of the first succeeding planting season. All replacements shall have a guaranteed equal to that stated above.
- Insofar as it is practicable, plant material shall be planted on the day of delivery. In the event this is not possible, the contractor shall protect stock not planted. Plants shall not remain unplanted for longer than a three day period after delivery.
- Quality and size of plants, spread of roots, and size of balls shall be in accordance with ANSI Z60.1 (rev. 2001) "American Standard for Nursery Stock" as published by the American Nursery and Landscape Association.
- All plants shall be planted in amended top soil that is thoroughly watered and tamped as back filling progresses. Planting mix to be as shown on planting details. Large planting areas to incorporate fertilizer and soil conditioners as stated in planting specifications.
- Plants shall not be bound with wire or rope at any time so as to damage the bark or break branches. Plants shall be handled from the bottom of the ball only.
- Planting operations shall be performed during periods within the planting season when weather and soil conditions are suitable and in accordance with accepted local practice. Plants shall not be installed in topsoil that is in a muddy or frozen condition. All plant material shall be sprayed with "wilt-pruf" or equal as per manufacturer's instructions.
- Set all plants plumb and straight. Set at such level that a normal or natural relationship to the crown of the plant with the ground surface will be established. Locate plant in the center of the pit.
- All injured roots shall be pruned to make clean ends before planting utilizing clean, sharp tools. It is advisable to prune approximately 1/3 of the growth of large trees (2" caliper and over) by the removal of superfluous branches, those which cross, those which run parallel, etc. Main leader of trees will not be cut back. Long side branches, however, must be shortened.
- Each tree and shrub shall be perpetually maintained, pruned, replaced and replanted in accordance with standard horticultural practice to preserve natural character of plant. Pruning shall be done with clean, sharp tools.
- All planting beds shall be mulched with 4" layer of double shredded hardwood bark mulch.
- New planting areas and sod shall be adequately irrigated or watered to establish the proposed plants and lawn.
- If there are any discrepancies between the amounts shown on the plan and in the plant list, the plan will dictate.

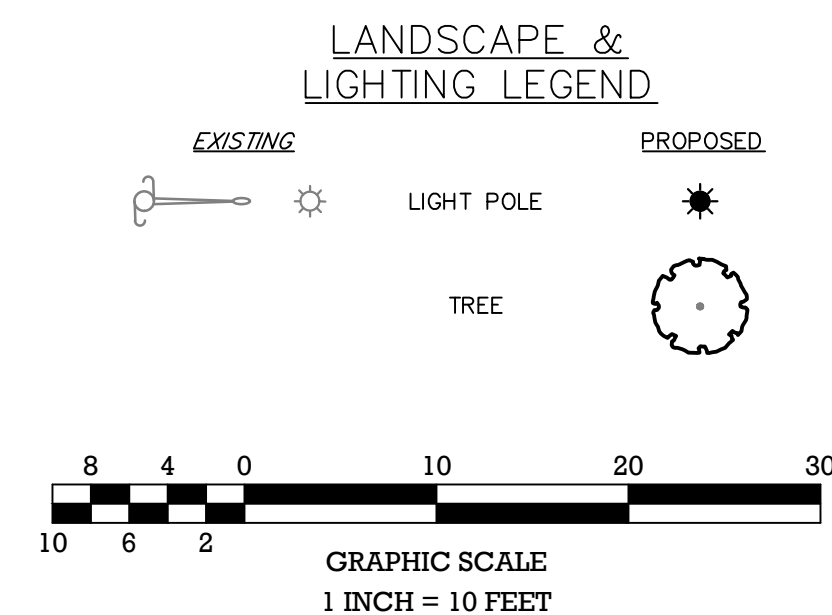
Lighting Notes:

- There will be no adverse light spillover from the lights proposed within the development.
- Exterior site lights shall operate based on a programmed and managed schedule by owner utilizing timers and/or photo sensors. Lighting shall be used to address site specific needs and safety requirements. Full 'plan' intensity shall be provided for high use times such as: 1/2 hour before sunset to 1/2 past business closure or until 11 PM for residential uses; and, 1/2 hour before business open or 6 am until 1/2 hour past sunrise. Wherever possible, overnight lighting shall be reduced to appropriate minimums, by either entirely turning off individual fixtures or reducing fixture output to a 50% or lower percentage of max.
- All fixtures, poles and bollards are as specified or approved equal.
- Cut-off shields, house side shields, etc. shall be provided if / as required.
- Where applicable, poles shall be set at least 3 feet behind the curb.
- Type 'A' fixture to be wall mounted at 9.0' from fixture to grade.
- All proposed lighting fixtures shall be downward oriented.

PLANT SCHEDULE

| CODE | QTY | BOTANICAL NAME | COMMON NAME | SIZE | CONTAINER | REMARKS |
|-------------------------|-----|--|------------------------------|--------------|-----------|--|
| DECIDUOUS SHRUBS | | | | | | |
| CSAF | 4 | CORNUS SERICEA | ARCTIC FIRE RED TWIG DOGWOOD | 18-24" HT. | B&B | ZONE 3, NATIVE PLANT SPECIES, DEER RESISTANT |
| EVERGREEN SHRUBS | | | | | | |
| IGGB | 11 | ILEX GLABRA GEM BOX | GEM BOX INKBERRY HOLLY | 18-24" HT. | B&B | NATIVE PLANT SPECIES, NO BERRIES |
| FLOWERING TREE | | | | | | |
| LFN | 2 | LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ' | NATCHEZ CRAPE MYRTLE | 7-8' HT. | 30 GAL. | SINGLE LEADER |
| DECIDUOUS TREES | | | | | | |
| CAZ | 3 | CARPINUS CAROLINIANA | AMERICAN HORNBEAM | 2-21/2' CAL. | B&B | 8-10' HT., SINGLE TRUNK, FAC |
| PERENNIAL | | | | | | |
| MSML | 9 | MISCANTHUS SINENSIS 'MORNING LIGHT' | EULALIA GRASS | 1 GAL. | | DROUGHT TOLERANT PLANT |

| Symbol | Label | QTY | Manufacturer | Catalog Number | Lamp | Number Lamps | Filename | Lumens per Lamp | LLF | Wattage |
|--------|-------|-----|--------------|----------------|------|--------------|---------------|-----------------|--------|---------|
| | A | 8 | WAC Lighting | WS-W45714 | NA | 1 | WS-W45714.IES | 685 | 685.24 | 19.2685 |



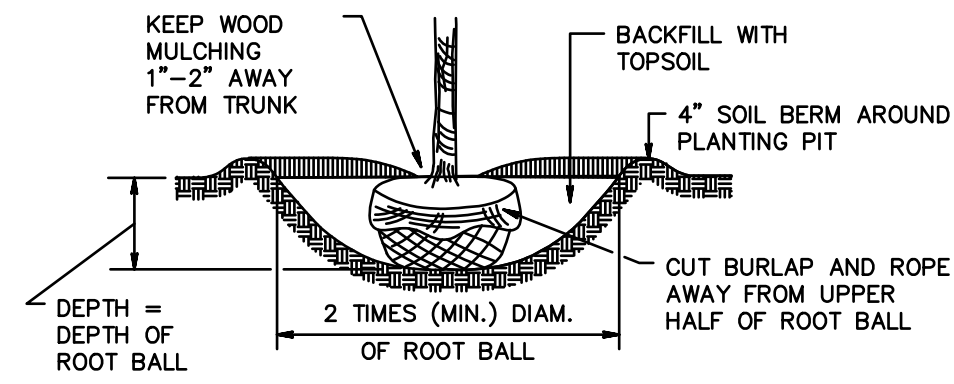
Joseph Mele, P.E. & P.L.S.
 PROFESSIONAL ENGINEER & LAND SURVEYOR
 N.J. Lic. No. 48239
 Certificate of Authorization No. 24CG8884900
 03/04/24

LANDSCAPING & LIGHTING PLAN
 PROPOSED 4 UNIT TOWNHOUSE BUILDING
 103 & 115 CREEK ROAD
 BLOCK 70, LOTS 11, 12 & 13
 SITUATED IN
 BOROUGH OF KEANSBURG, MONMOUTH COUNTY, NEW JERSEY

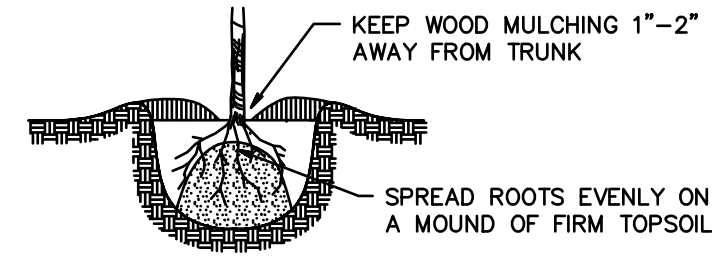
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| PROJECT No.: | SEI-2301 | DATE: | 03/04/24 |



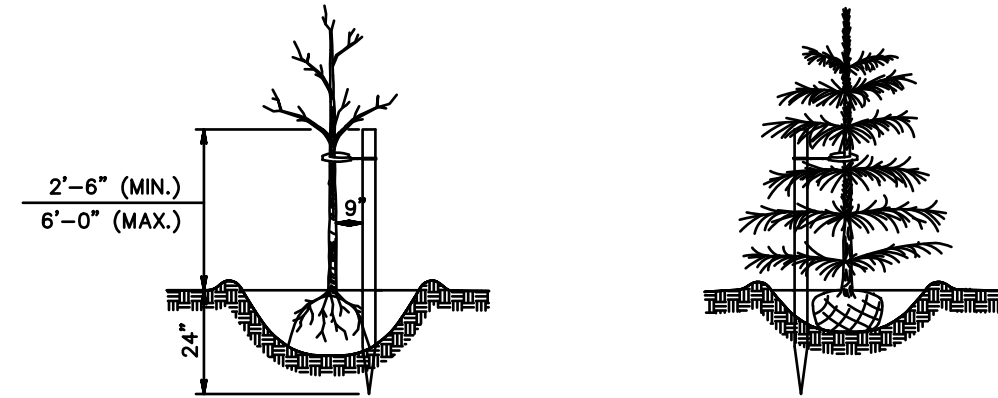
B & B MATERIAL



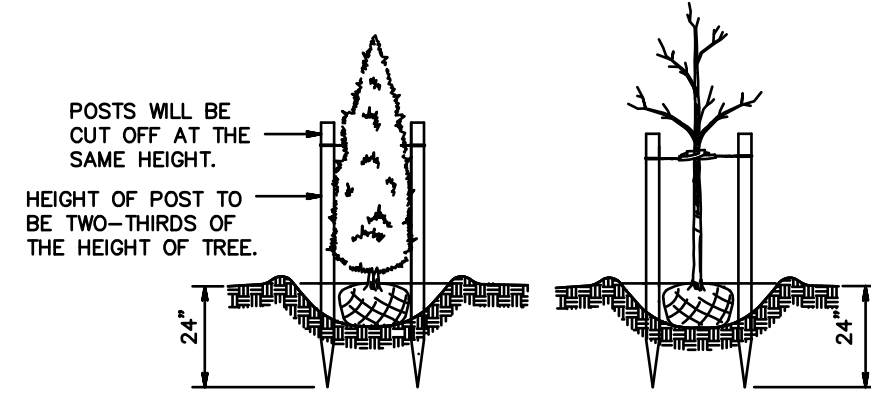
BARE ROOT MATERIAL

TREE & SHRUB PLANTING DETAIL
 NOT TO SCALE

POSTS - 2" x 2" x 8 FOOT LUMBER, STAINED DARK BROWN,
 OR 8 FOOT WHITE CEDAR POST 2" TO 3" DIAMETER AT
 THE THINNER (LOWER) END OF THE POST.



TREES REQUIRING ONE STAKE
 DECIDUOUS TREES (EXCEPT SALIX) 1" TO 1" CALIPER, INCLUSIVE.
 CONE TYPE (PYRAMIDAL) TREES 3 FEET TO 5 FEET HIGH, AND
 COLUMNAR EVERGREEN TREES 4 FEET TO 7 FEET HIGH, INCLUSIVE.



TREES REQUIRING TWO STAKES
 DECIDUOUS TREES OVER 1" TO 2" CALIPER, INCLUSIVE. ALL
 SALIX REGARDLESS OF HEIGHT, CALIPER, BARE ROOT OR BALLED AND
 BURLAPPED CONE TYPE (PYRAMIDAL) TREES 5 FEET TO 7 FEET HIGH
 AND COLUMNAR EVERGREEN TREES 7 FEET TO 9 FEET HIGH, INCLUSIVE.

STAKING DETAILS
 NOT TO SCALE

WAC LIGHTING

Outdoor Wall Sconce 3000K

Model Size: 12" x 3" x 3" | Glass Type: L | Finish: BK | IP: IP65 | LED Lumens: 1800 | Delivery/Lumens: 1800 | Size: 12" x 3" x 3" | No. of LEDs: 18

Example: WS-W60714-BK

For 270° special order, add an "S" before the finish: WS-W60714-S-BK

DESCRIPTION:
 A simple contemporary garden sconce. Oberon features a tinted glass that provides even illumination with a soft glow. Available in a variety of finishes, weather resistant and powder coated. The light engine is factory sealed for maximum protection against the harshest elements.

FEATURES:
 • Tinted glass provides even illumination
 • Weather resistant powder coated finish
 • Maximum lifespan through to 50,000 hours
 • Light engine is factory sealed for maximum protection from the elements
 • This unit may not be suitable for all finishes, check for availability
 • 5-10 year warranty

SPECIFICATIONS:
 Color Temp: 3000K
 Input: 120V AC, 50/60Hz
 CRI: 90
 Dimming: DIM 100-10%
 Mounting: 1/2" x 1/2" x 1/2" (3/16")
 Mounting: Can be mounted on wall in all orientations
 Standards: ETL, UL, IP65, 50000 Hours L70/B200 Compliance
 Construction: Wet Location Listed
 Construction: Aluminum hardware with glass diffuser

REPLACEMENT PARTS:
 RPL_GLA-0214: Glass for WS-W60714

WAC Lighting Inc. | Phone: (800) 524-2388 | Fax: (800) 524-2390 | Headquarters/Showroom: 4600 Park Drive, Park Drive, Washington, NY 11760
 We lighting.com | © 2024 WAC Lighting Inc. All rights reserved. The design of our products is the property of WAC Lighting Inc. and is a registered trademark of WAC Lighting Inc.

WS-W60714

'A' LIGHTING FIXTURE DETAIL

| | | | |
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| DATE | REVISIONS | DRAWN BY | CHECKED BY |
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| HORIZONTAL SCALE: | N/A | VERTICAL SCALE: | N/A |
| PROJECT No.: | SEI-2301 | DATE: | 03/04/24 |

Joseph Mele, P.E. & P.L.S.
 PROFESSIONAL ENGINEER & LAND SURVEYOR
 No. 0843239
 N.J. State License
 03/04/24

LANDSCAPE & LIGHTING DETAILS
 PROPOSED 4 UNIT TOWNHOUSE BUILDING
 103 & 115 CREEK ROAD
 BLOCK 70, LOTS 11, 12 & 13
 SITUATED IN
 BOROUGH OF KEANSBURG, MONMOUTH COUNTY, NEW JERSEY

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FREEHOLD SOIL EROSION AND SEDIMENT CONTROL NOTES

1. THE FREEHOLD SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
2. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
3. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
4. N.J.S.A. 4:24-39 ET. SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE DISTRICT DETERMINES THAT A PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY AND REPORT OF COMPLIANCE HAS BEEN ISSUED. UPON WRITTEN REQUEST FROM THE APPLICANT, THE DISTRICT MAY ISSUE A REPORT OF COMPLIANCE WITH CONDITIONS ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS, PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE SEQUENCE OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SITE WORK.
5. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING, IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER. THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 1/2 TONS PER ACRE, ACCORDING TO STATE STANDARD FOR STABILIZATION WITH MULCH ONLY.
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. SOIL STOCKPILES, STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR SUITABLE EQUIVALENT, AND A MULCH ANCHOR, ACCORDING TO STATE STANDARDS.
7. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
8. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATIONS OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ACCESS CONSISTING OF ONE INCH TO TWO INCH (1"-2") STONE FOR A MINIMUM LENGTH OF TEN FEET (10') EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF.
9. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMITS OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.
10. PERMANENT VEGETATION IS TO BE SEEDING OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING.
11. AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
12. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS/ACRE, (OR 450LBS/1,000 SQ FT OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12" OF SETTLED SOIL WITH A PH OF 5 OR MORE, OR 24" WHERE TREES OR SHRUBS ARE TO BE PLANTED.
13. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
14. UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING.
15. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL.
16. STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. CERTIFICATION OF A NEW SOIL EROSION AND SEDIMENT CONTROL PLAN MAY BE REQUIRED FOR THESE ACTIVITIES IF AN AREA GREATER THAN 5,000 SQUARE FEET IS DISTURBED.
17. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6.
18. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

FREEHOLD SOIL CONSERVATION DISTRICT
4000 KOZLOSKI ROAD, FREEHOLD, NJ 07728-5033, (732) 683-8500, FAX (732) 683-9140,
EMAIL: info@freeholdsoil.org

CONSTRUCTION SEQUENCE

EXACT TIMING FOR DEVELOPMENT OF THIS PROJECT IS NOT KNOWN AT THIS TIME. HOWEVER, IT IS ANTICIPATED THAT CONSTRUCTION WILL COMMENCE IN SUMMER 2021 AND WILL PROCEED IMMEDIATELY AND CONTINUOUSLY ONCE THE REQUIRED APPROVALS ARE SECURED. ITEMS AND DURATIONS OF CONSTRUCTION WILL APPROXIMATELY AS FOLLOWS:

| TEMPORARY SOIL EROSION FACILITIES | DURATION |
|---|--------------|
| CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE | IMMEDIATELY |
| INSTALL SILT FENCE | IMMEDIATELY |
| DEMOLITION OF EXISTING STRUCTURES | 3 MONTHS |
| ROUGH CLEARING AND GRADING | 3 WEEKS |
| INLET PROTECTION | IMMEDIATELY |
| ROAD SUB-BASE | IMMEDIATELY |
| MAINTENANCE OF TEMPORARY EROSION CONTROL MEASURES | CONTINUOUSLY |
| BUILDING CONSTRUCTION | 12 MONTHS |

* TEMPORARY SEEDING SHALL ALSO BE PERFORMED WHEN NECESSARY IN ACCORDANCE WITH NOTE No. 2 OF THE SOIL EROSION AND SEDIMENT CONTROL NOTES.

STANDARD FOR STABILIZATION WITH MULCH ONLY

DEFINITION

STABILIZING EXPOSED SOILS WITH NON-VEGETATIVE MATERIALS EXPOSED FOR PERIODS LONGER THAN 14 DAYS.

PURPOSE

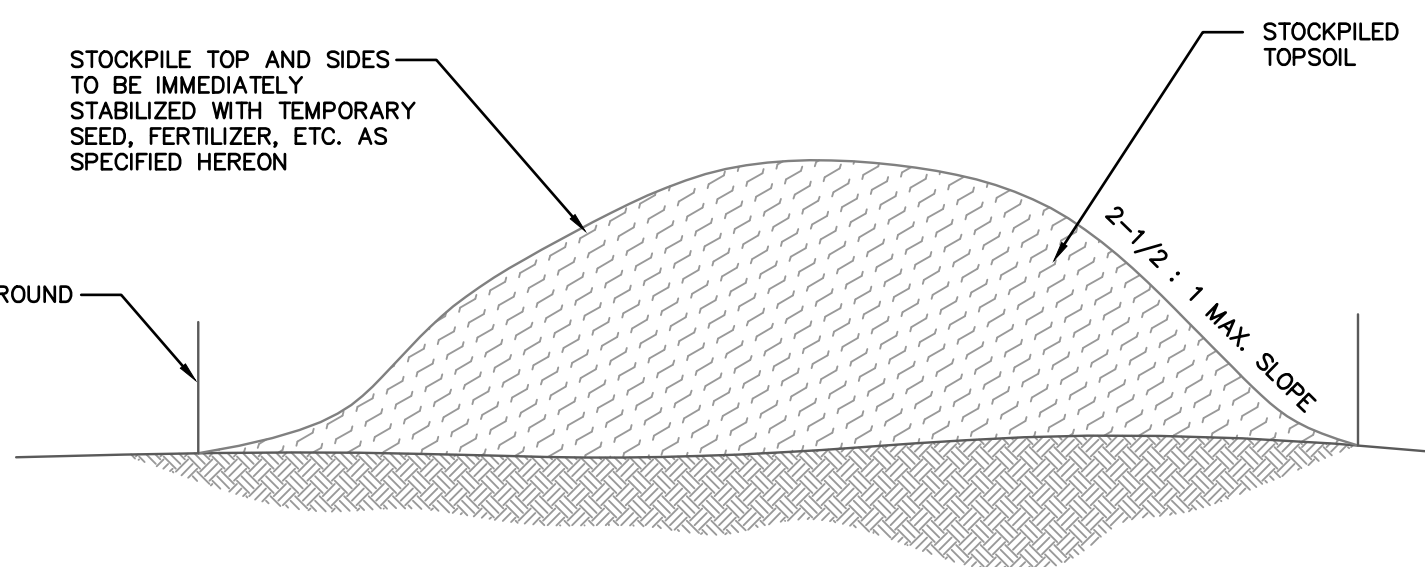
TO PROTECT EXPOSED SOIL SURFACES FROM EROSION DAMAGE AND TO REDUCE OFFSITE ENVIRONMENTAL DAMAGE.

CONDITIONS WHERE PRACTICE APPLIES

THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO EROSION, WHERE THE SEASON AND OTHER CONDITIONS MAY NOT BE SUITABLE FOR GROWING AN EROSION RESISTANT COVER OR WHERE STABILIZATION IS NEEDED FOR A SHORT PERIOD UNTIL MORE SUITABLE PROTECTION CAN BE APPLIED. WOOD CHIPS WILL NOT BE USED ON AREAS WHERE FLOWING WATER COULD WASH THEM.

METHODS AND MATERIALS

- I. SITE PREPARATION
 - A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING, PAGE 19.1.
 - B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.
- II. PROTECTIVE MATERIALS
 - A. UNROTTED SMALL GRAIN STRAW, AT 2.0 TO 2.5 TONS PER ACRE IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS OR NETTING TIEDOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
 - B. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED - UNDER SUITABLE CONDITIONS AND IN SUFFICIENT QUANTITIES.
 - C. WOOD-FIBER OR PAPER-FIBER MULCH AT A RATE OF 1,500 POUNDS PER ACRE MAY BE APPLIED BY A HYDROSEEDER OR HYDROMULCHING.
 - D. MULCH NETTING, SUCH AS PAPER JUTE, EXCELSIOR, COTTON OR PLASTIC MAY BE USED.
 - E. WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED.
 - F. GRAVEL, CRUSHED STONE OR SLAG AT THE RATE OF 9 CUBIC YARDS PER 1000 SQ. FT. APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 3 INCHES MAY BE USED. SIZE 2 OR 3 (ASTM C-33) IS RECOMMENDED.
- III. MULCH ANCHORING
 - A. MULCH ANCHORING SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA AND STEEPNESS OF SLOPES
 - B. PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
 - C. MULCH NETTING - STAPLE PAPER, COTTON, OR PLASTIC NETTINGS OVER HAY OR STRAW MULCH. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED. NETTING IS USUALLY AVAILABLE IN ROLLS 4 FEET WIDE AND UP TO 300 FEET LONG.
 - D. MULCH ANCHORING TOOL - A TRACTOR DRAWN IMPLEMENT ESPECIALLY DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE. THE PRACTICE AFFORDS MAXIMUM EROSION CONTROL, BUT ITS USE IS LIMITED TO THOSE SLOPES UPON WHICH THE TRACTOR CAN OPERATE SAFELY. TOOL PENETRATION SHOULD BE ABOUT 3 TO 4 INCHES. ON SLOPING LAND, THE OPERATION SHOULD BE DONE ON THE CONTOUR.
 - E. LIQUID MULCH-BINDERS
 1. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS AND AT CRESTS OF BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.
 2. USE OF ONE OF THE FOLLOWING:
 - a. ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS. VEGETABLE BASED GELS SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER.
 - b. SYNTHETIC OR ORGANIC BINDERS - BINDERS SUCH AS CURASOL, DCA-70, PETRO-SET AND TERRA TACK MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.



STOCKPILE AREA

NOT TO SCALE

STANDARD FOR SEEDING SPECIFICATIONS

TEMPORARY SEEDING

TEMPORARY VEGETATIVE COVER SHALL CONSIST OF PERENNIAL RYEGRASS APPLIED UNIFORMLY AT A RATE OF 1.0 POUNDS PER 1,000 SQ. FT. (40 lbs./Ac.), LIMESTONE (PULVERIZED DOLOMITIC EQUIVALENT) TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDES) SHALL BE APPLIED AT THE RATE OF 135 lbs./1,000 SQ. FT. (3 TONS/AC) AND FERTILIZER (10-20-10 OR EQUIVALENT) AT THE RATE OF 14 lbs./1,000 SQ. FT. (600 lbs./Ac.).

MULCHING IS REQUIRED ON ALL SEEDING AND SHALL BE ACCOMPLISHED AS FOLLOWS:

1. MULCH MATERIALS SHOULD BE UNROTTED SALT HAY, HAY, OR SMALL GRAIN STRAW AT A RATE OF 1-1/2 TO 2 TONS PER ACRE, OR 70 TO 90 POUNDS PER 1,000 SQUARE FEET. MULCH BLOWERS SHOULD NOT GRIND OR CHOP THE MATERIAL.
2. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 85 PERCENT OF THE SOIL SURFACE WILL BE COVERED. FOR UNIFORM DISTRIBUTION OF HAND SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FOOT SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.
3. MULCH ANCHORING SHALL BE ACCOMPLISHED USING EITHER PEG AND TWINE, MULCH NETTING, MULCH ANCHORING COULTER TOOL OR LIQUID MULCH-BINDERS, PER THE ACCOMPANYING "STABILIZATION WITH MULCH ONLY" SPECIFICATION.

* OPTIMUM SEEDING DATES 3/1 - 5/15 AND 8/15 - 10/1

PERMANENT SEEDING

1. TOPSOIL TO BE PLACED TO A DEPTH OF 4 INCHES ON EXPOSED SOILS UPON COMPLETION OF FINAL GRADING.
2. SEED IS TO BE UNIFORMLY APPLIED TO THE NORMAL DEPTH OF 1/4 INCH TO 1/2 INCH (EXCEPT HYDRO SEEDING). SEED MIXTURE 16, AS SHOWN ON PAGE 4-9 IN THE SOIL EROSION STANDARDS. THE SEEDING RATE SHALL BE:

| SEED MIXTURE | PLANTING RATE | |
|----------------------------|---------------|------------------|
| | LBS PER ACRE | LBS PER 1,000 SF |
| ROUGH BLUEGRASS | 90 | 2.0 |
| STRONG CREEPING RED FESCUE | 130 | 3.0 |

* OPTIMAL SEEDING DATES: 8/1-10/1
ACCEPTABLE SEEDING DATES: 3/15-7/31

3. MULCHING WILL BE ACCOMPLISHED PER THE BELOW TEMPORARY SEEDING SPECIFICATIONS.

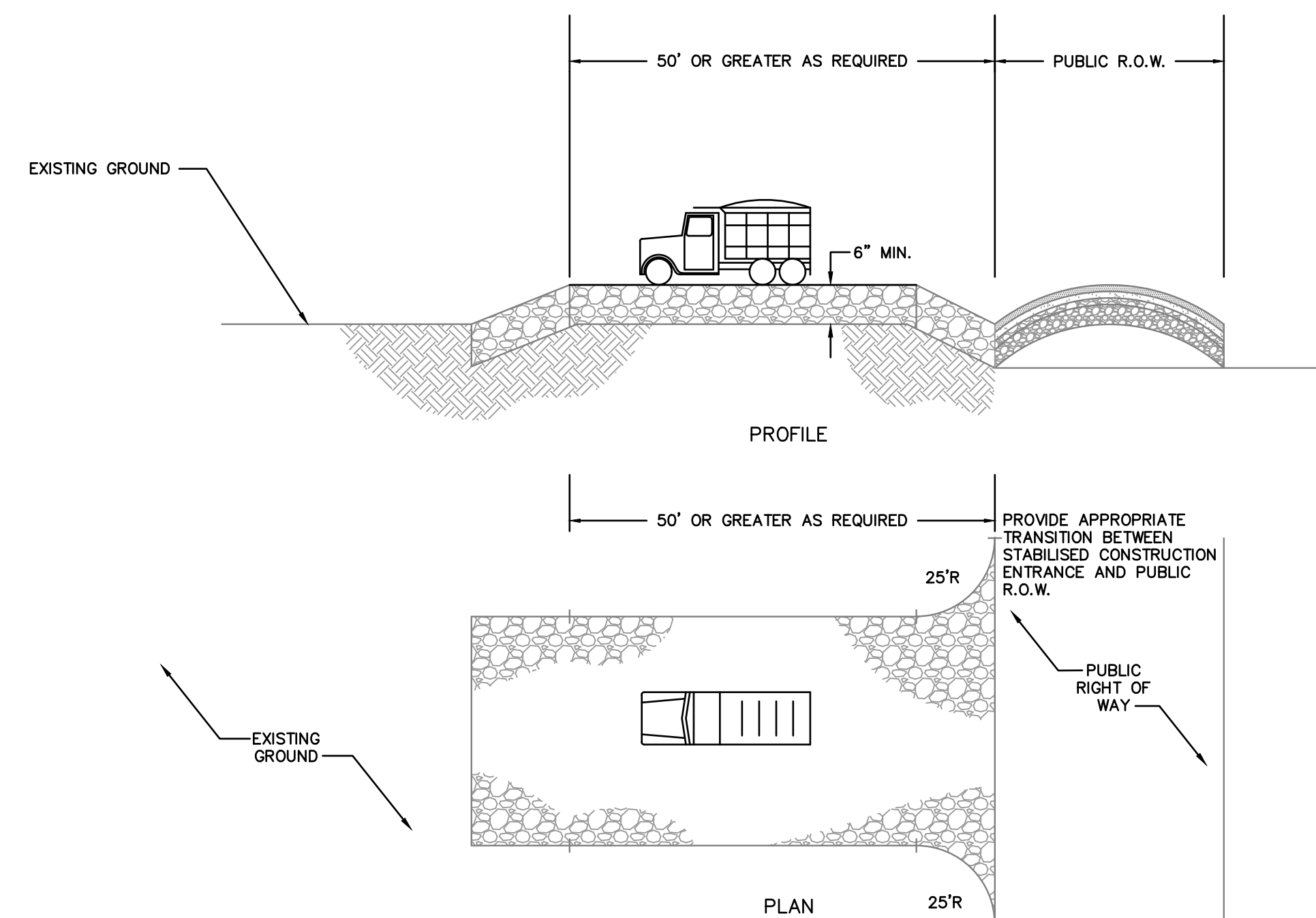
* MAY BE PLANTED THROUGHOUT SUMMER IF SOIL MOISTURE IS ADEQUATE OR SOIL CAN BE IRRIGATED.

DUST CONTROL NOTE

DUST GENERATION SHALL BE CONTROLLED ON A CONSTANT BASIS BY WETTING THE SURFACE AND/OR APPLICATION OF CALCIUM CHLORIDE

ADDITIONAL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. THE PROPERTY OWNERS SHALL ASSUME THIS RESPONSIBILITY AFTER CONSTRUCTION IS COMPLETED AND CERTIFICATES OF OCCUPANCY ARE ISSUED.
2. THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.
3. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE ROADWAYS CLEAN AT ALL TIMES. ANY SEDIMENT SPILLED OR TRACKED ON THE ROADWAY WILL BE CLEANED UP IMMEDIATELY, OR AT A MINIMUM, BY THE END OF EACH WORK DAY.
4. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON INDIVIDUAL SITES SHALL APPLY TO ANY SUBSEQUENT OWNER.

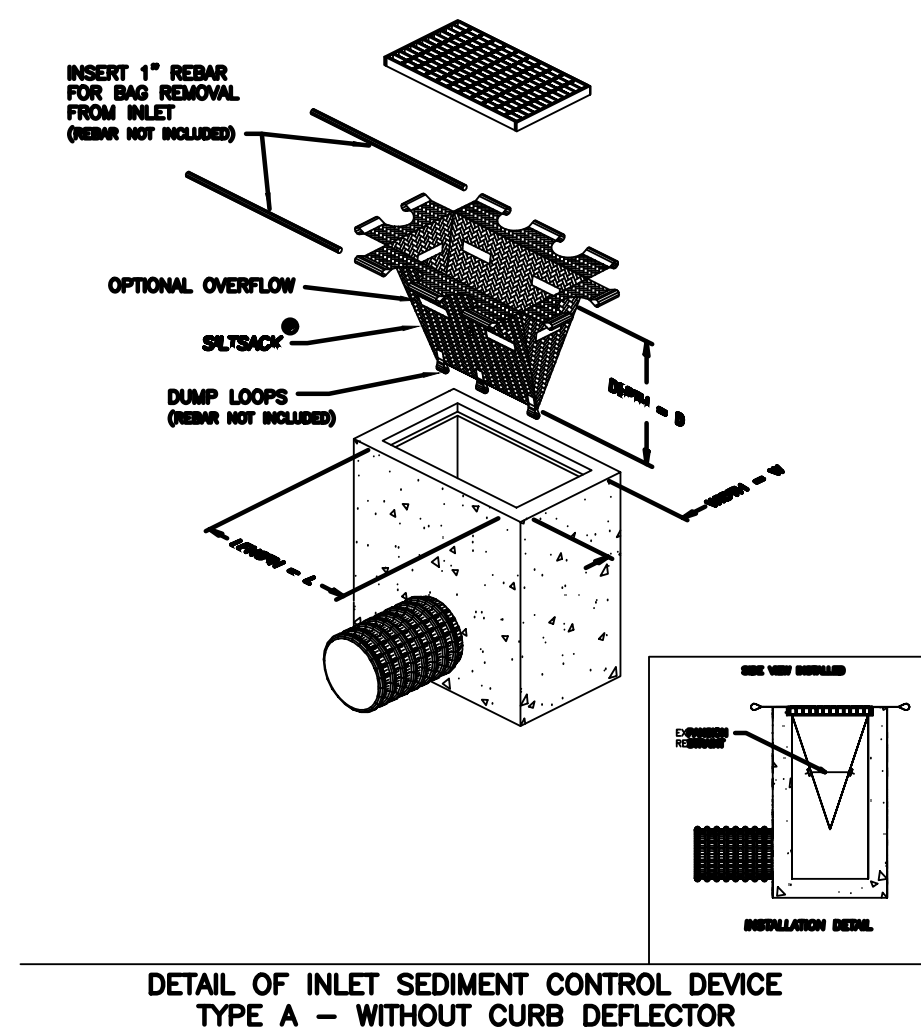


| PERCENT SLOPE OF ROADWAY | PERCENT SLOPE OF ROADWAY | |
|--------------------------|--|--------------------|
| | COARSE GRAINED SOILS | FINE GRAINED SOILS |
| 0 TO 2% | 50 FT. | 100 FT. |
| 2 TO 5% | 100 FT. | 200 FT. |
| > 5% | ENTIRE SURFACE STABILIZED WITH FABC BASE COURSE! | |

1. AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.
2. 1" - 2 1/2" CLEAN CRUSHED STONE SHALL BE USED.

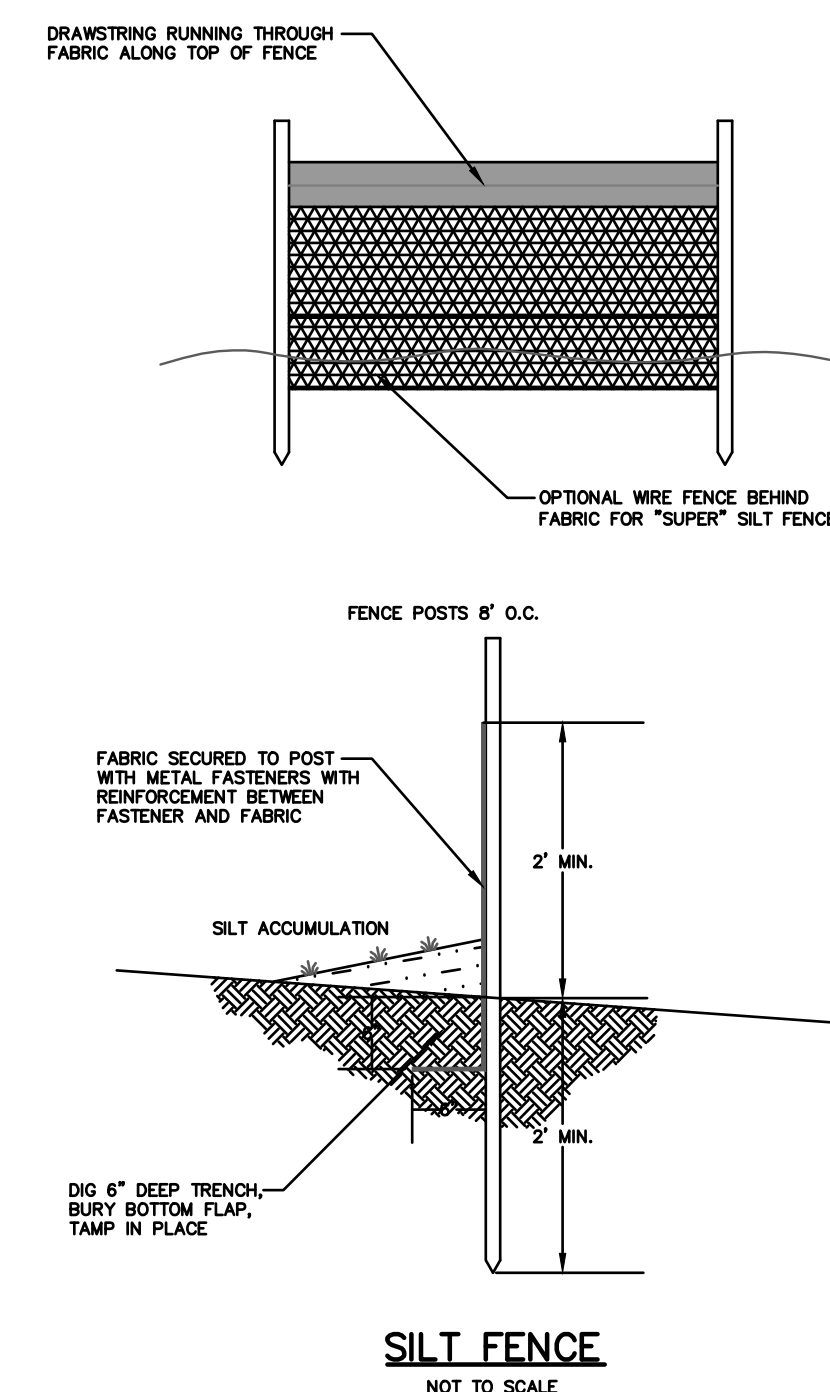
STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE



1. FOLLOW MFG. SPECIFICATIONS AND RECOMMENDATIONS FOR INSTALLATION AND MAINTENANCE.

SILT SACK TYPE INLET PROTECTION DETAIL (OR APPROVED EQUAL)



SILT FENCE

NOT TO SCALE

| DATE | REVISIONS | DRAWN BY | CHECKED BY |
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|-----------------------|---------------------|-----------------------|----------------|
| BRN BY: LV | CHECKED BY: MS | PROJECT No.: SEI-2301 | DATE: 03/04/24 |
| HORIZONTAL SCALE: N/A | VERTICAL SCALE: N/A | | |

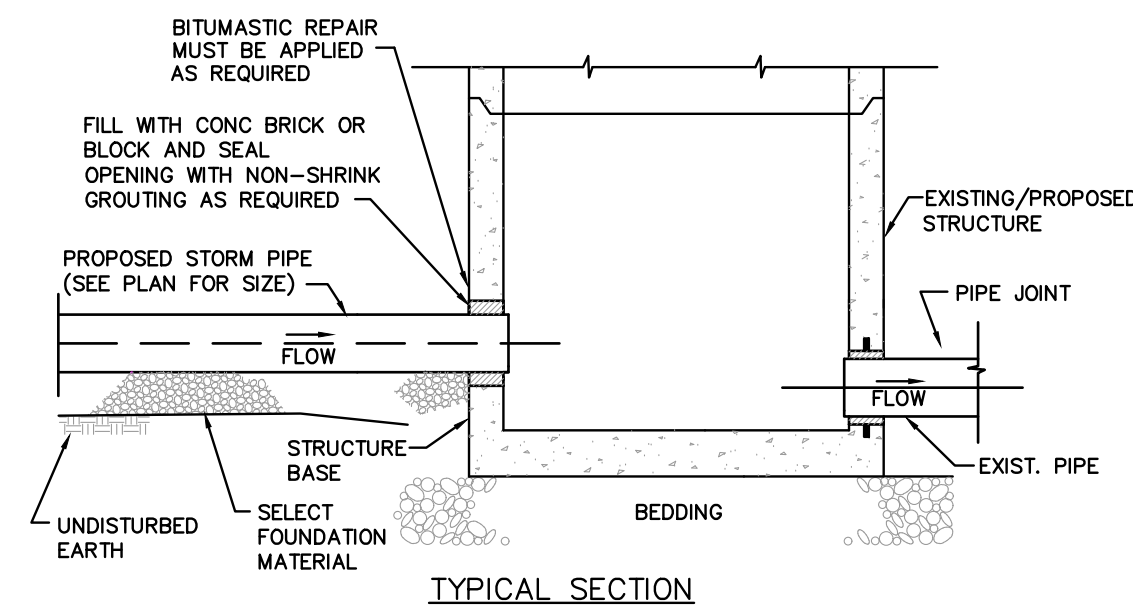
Professional Engineer & Land Surveyor
Joseph Mele, P.E. & P.L.S.
Professional Engineer License No. 48259
Land Surveyor License No. 24638R84900
Certificate of Authorization No. 24638R84900
03/04/24
Professional Seal

SOIL EROSION & SEDIMENT CONTROL DETAILS
PROPOSED 4 UNIT TOWNHOUSE BUILDING
103 & 115 CREEK ROAD
BLOCK 70, LOTS 11, 12 & 13
SITUATED IN
BOROUGH OF KEANSBURG, MONMOUTH COUNTY, NEW JERSEY

MidAtlantic Engineering Partners
28 Washington St. 3rd Floor
Morristown, NJ 07960
973-718-9822
1071 Highway 94, Suite 201
WRT Township, NJ 07719
609-910-4450
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Plot Date: Mar 04, 2024 - 12:23pm

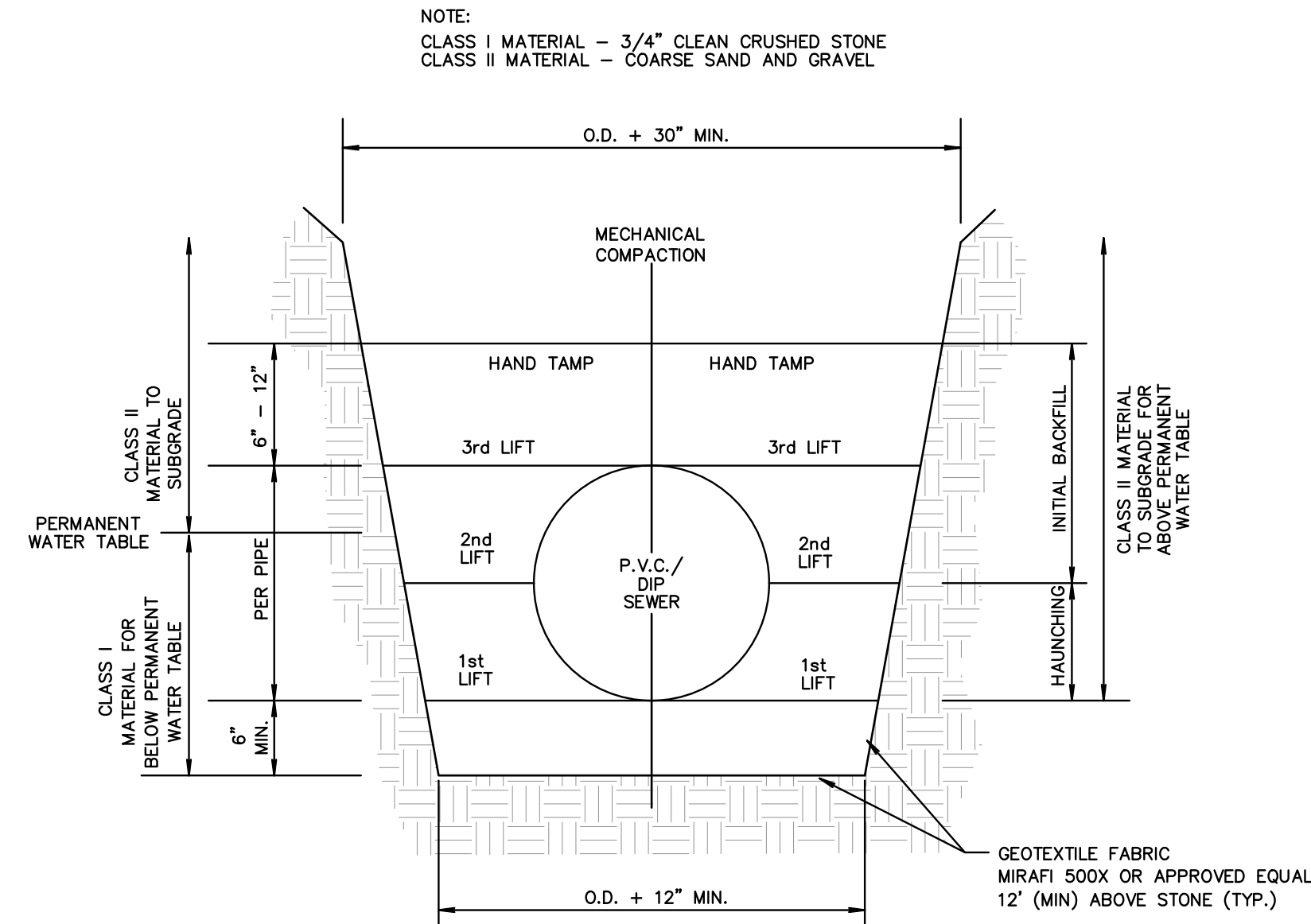
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 Plot Time: Mar 04, 2024 - 12:28pm



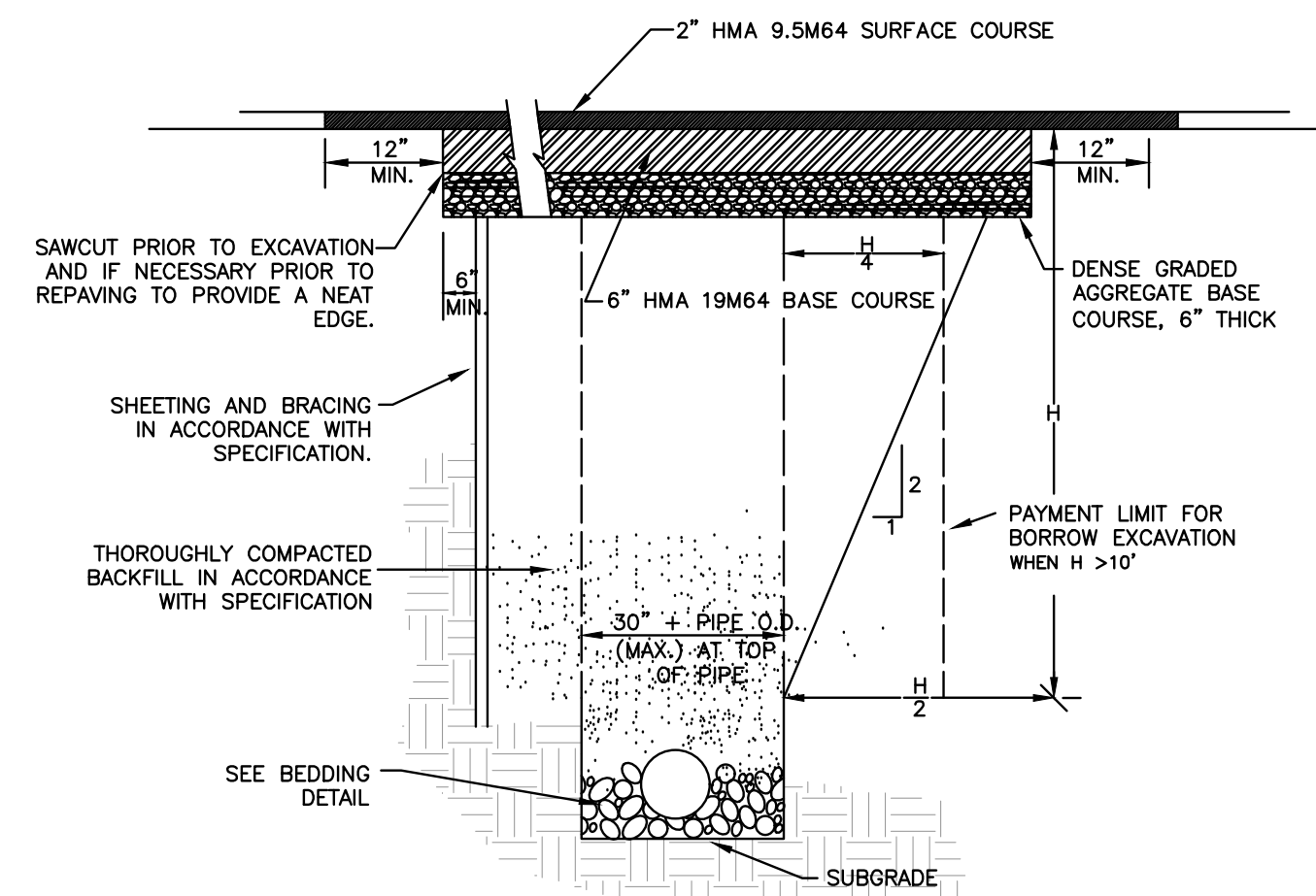
CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING OPERATION OF THE EXISTING PIPES CONNECTED TO THE EXISTING STRUCTURE. AT NO TIME SHALL THE CONSTRUCTION OF THE NEW STORM SEWER MAIN IMPEDE THE OPERATION OF THE EXISTING STORM SEWER.
2. WHERE NEW PIPE IS TO BE CONNECTED INTO AN EXISTING STRUCTURE, THE CONTRACTOR SHALL CORE DRILL ALL HOLES INTO STRUCTURE WALL AND SHALL PERFORM ALL CUTTING AND PATCHING NECESSARY.
PIPE SHALL BE SEALED USING KOR-SEAL ADAPTERS OR APPROVED EQUAL AND ON-SHRINK GROUT.
3. ANY DAMAGE TO THE EXISTING STRUCTURE CAUSED BY THE CONSTRUCTION OPERATIONS SHALL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER.

CONNECTION TO EXISTING STRUCTURE DETAIL
NOT TO SCALE



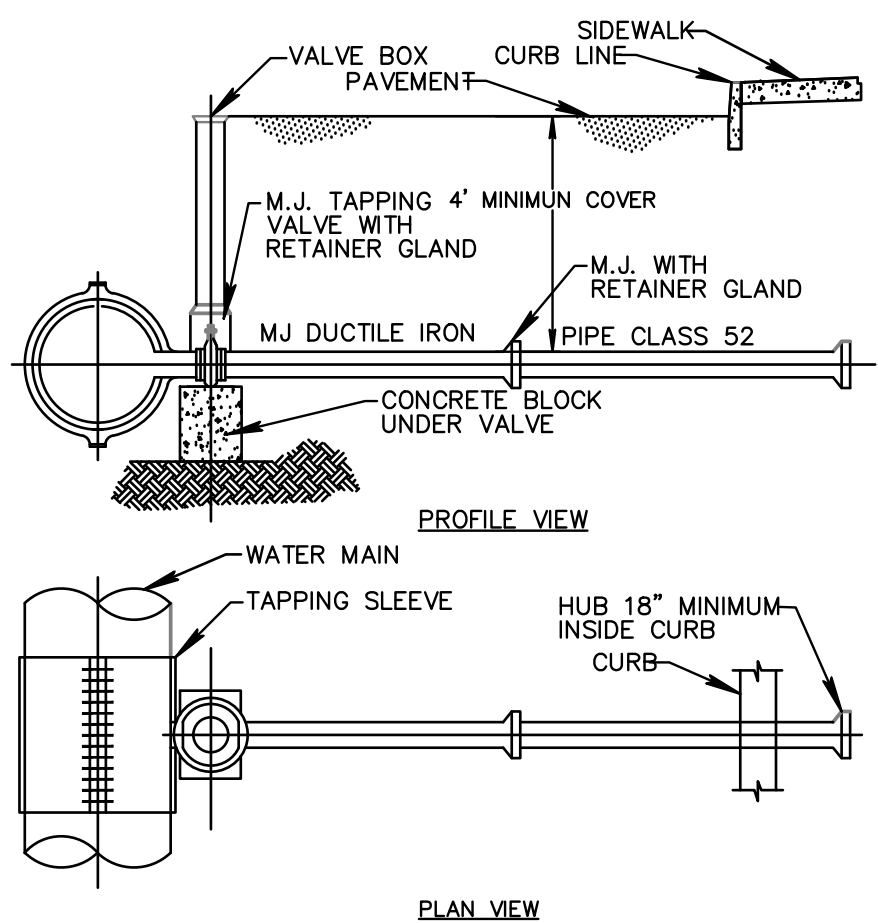
PIPE BEDDING DETAIL
NOT TO SCALE



CONSTRUCTION NOTES:

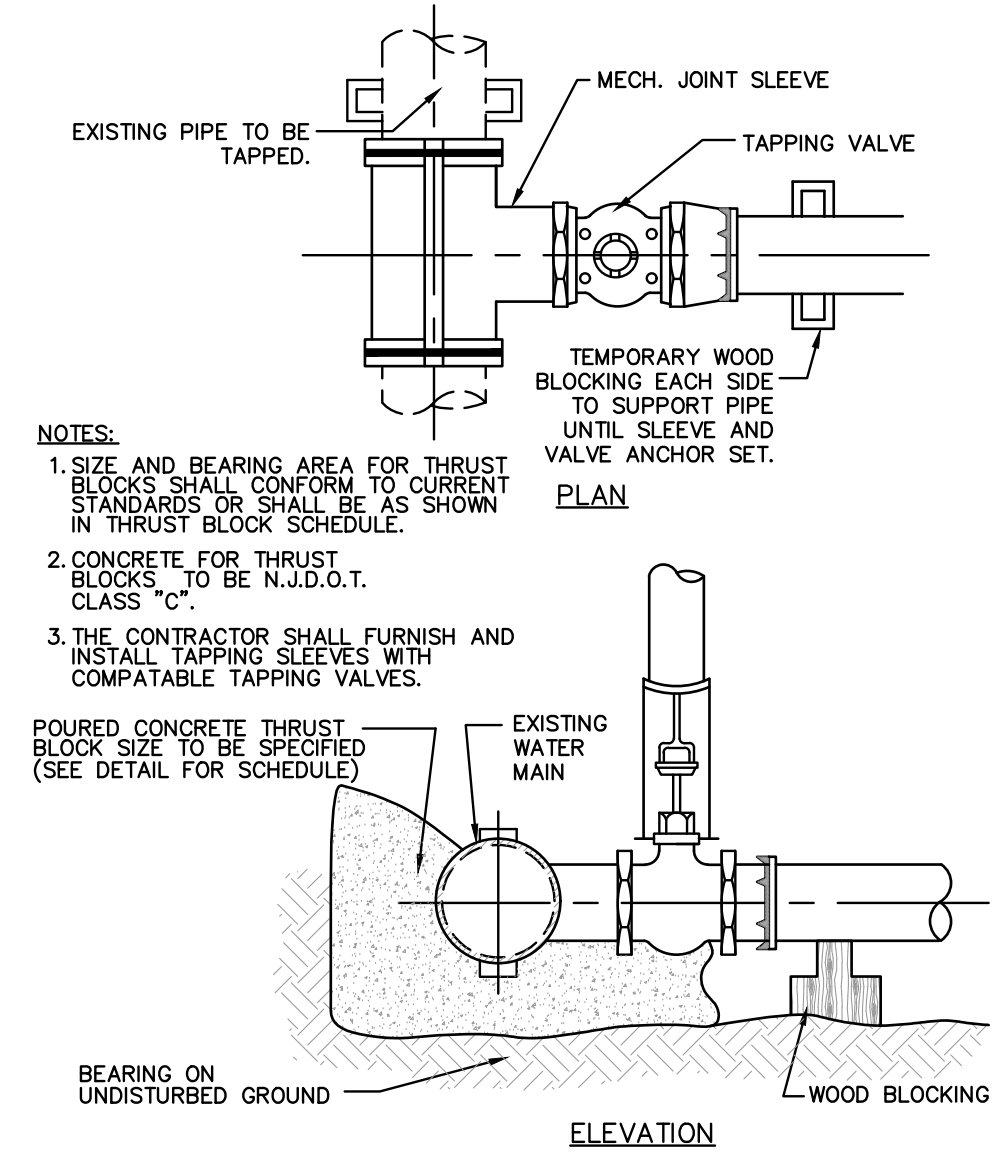
1. MAXIMUM PAYMENT WIDTH FOR BORROW EXCAVATION SHALL BE 30" + PIPE O.D., WHEN PLACED IN A TRENCH WITH DEPTH OF 10' OR LESS TO THE TOP OF THE PIPE. FOR TRENCHES OF GREATER DEPTH, THE MAXIMUM PAYMENT WIDTH FOR BORROW EXCAVATION SHALL BE 30" + PIPE O.D. + H/2.
2. AT MANHOLES, BITUMINOUS STABILIZED BASE IS TO BE PLACED 6" BEYOND THE TRENCH LIMIT OR 6" BEYOND DAMAGED PAVEMENT BASE COURSE WHICHEVER IS GREATER.
3. THE NEW TRENCH REPAIR MADE WITH 6" OF STABILIZED BASE COURSE ASPHALT SHALL BE ALLOWED TO SETTLE FOR A PERIOD BETWEEN 3-6 MONTHS BEFORE MILLING AND PAVING WITH 2" OF SURFACE COURSE.
4. SERVICE CONNECTION TRENCHES ARE TO BE REPAIRED AS ABOVE EXCEPT MAXIMUM OVERLAY PAY WIDTH SHALL BE 6". PAYMENT SHALL BE INCLUDED IN LINEAR FOOT MEASUREMENT FOR SEWER MAIN. NO SEPARATE PAYMENT WILL BE MADE FOR SERVICE TRENCHES.
5. ANY SUPERFICIAL SURFACE DAMAGE CAUSED BY THE CONTRACTOR OUTSIDE THE LIMIT SHOWN, SHALL BE PAVED WITH SURFACE COURSE. WHEN THE BASE COURSE OF THE EXISTING PAVEMENT IS DAMAGED BEYOND THE LIMIT SHOWN THE CONTRACTOR SHALL EXCAVATE 6" BEYOND THE DAMAGED AREA AND REPLACE IT WITH BITUMINOUS STABILIZED BASE COURSE. NO ADDITIONAL PAYMENT WILL BE MADE FOR THIS EXTRA PAVEMENT.

TYPICAL TRENCH & PAVEMENT REPAIR
N.T.S.



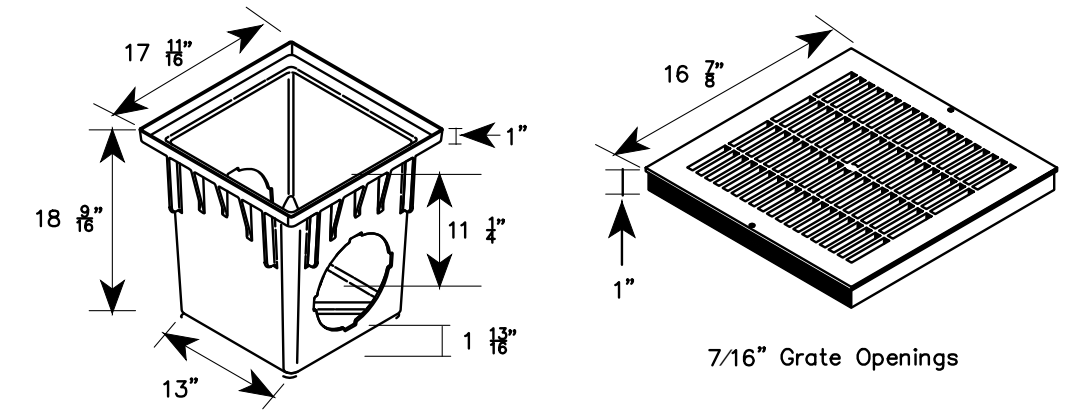
NOTE: RETAINER GLANDS TO BE USED ON ALL MECHANICAL JOINTS. ADDITIONAL RESTRAINTS EITHER CONCRETE TRUST BLOCK OR STEEL TIE RODS MAY BE REQUIRED BY THE DIVISION.

TYPICAL INSTALLATION OF 4"-12" SERVICES
NOT TO SCALE



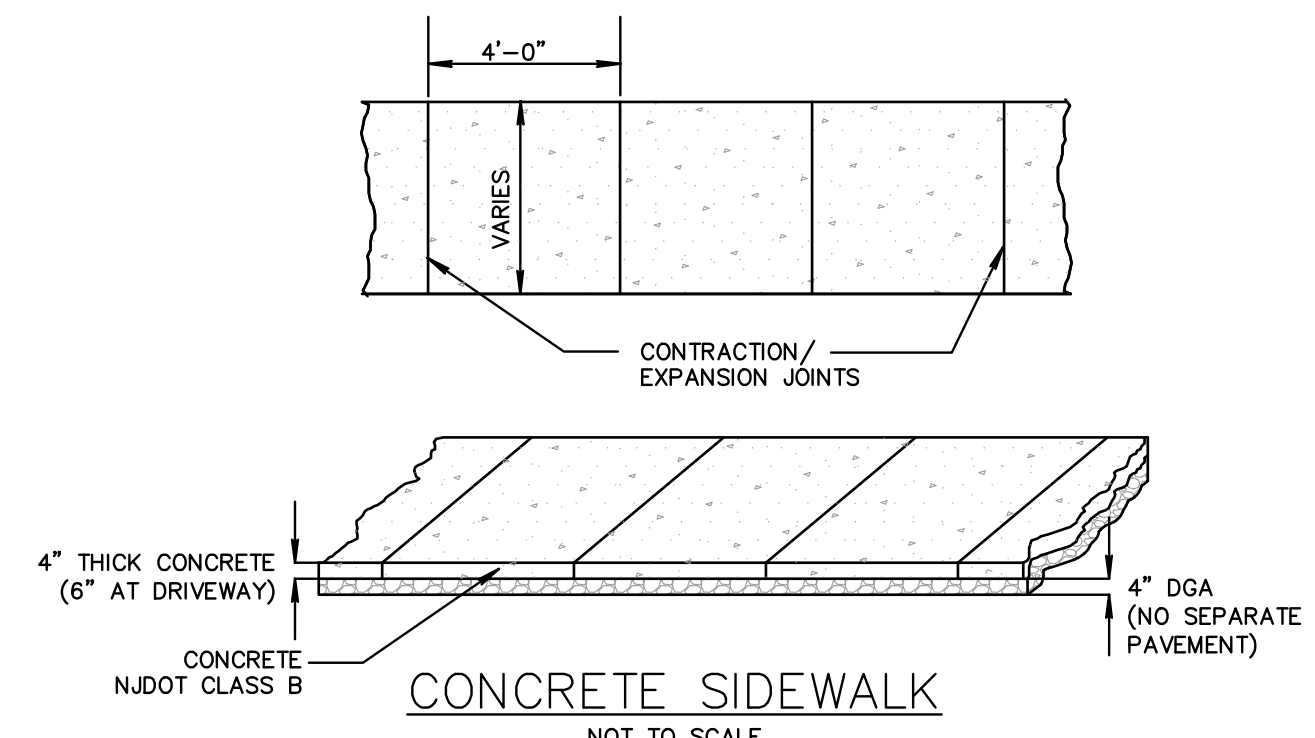
NOTES:
 1. SIZE AND BEARING AREA FOR THRUST BLOCKS SHALL CONFORM TO CURRENT STANDARDS OR SHALL BE AS SHOWN IN THRUST BLOCK SCHEDULE.
 2. CONCRETE FOR THRUST BLOCKS TO BE N.J.D.O.T. CLASS "C".
 3. THE CONTRACTOR SHALL FURNISH AND INSTALL TAPPING SLEEVES WITH COMPATIBLE TAPPING VALVES.

WET TAP ASSEMBLY
NOT TO SCALE



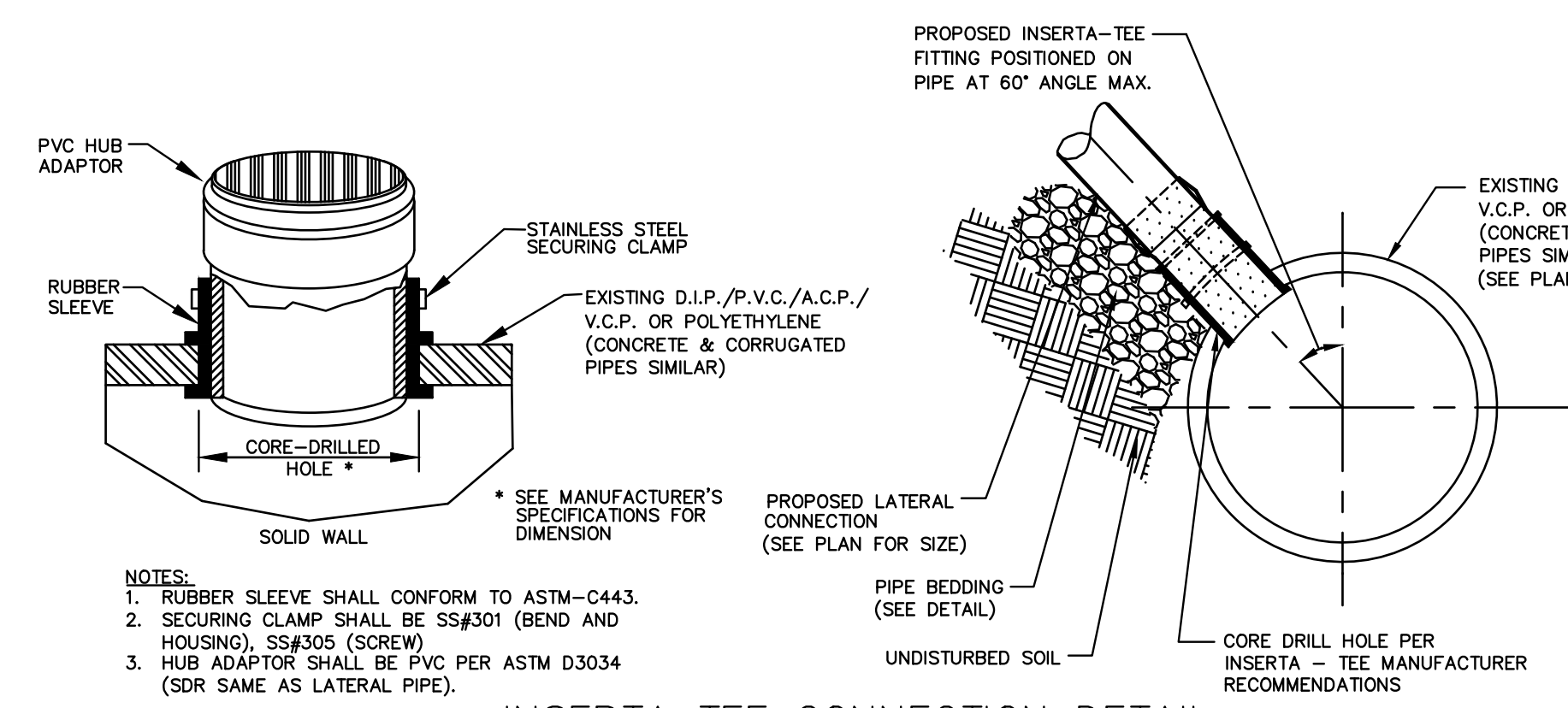
NOTE: YARD INLETS TO BE NDS 18"x18" ONE PIECE CATCH BASIN WITH BLACK GRATE OR APPROVED EQUAL.

TYPE 'Y' INLET
NOT TO SCALE



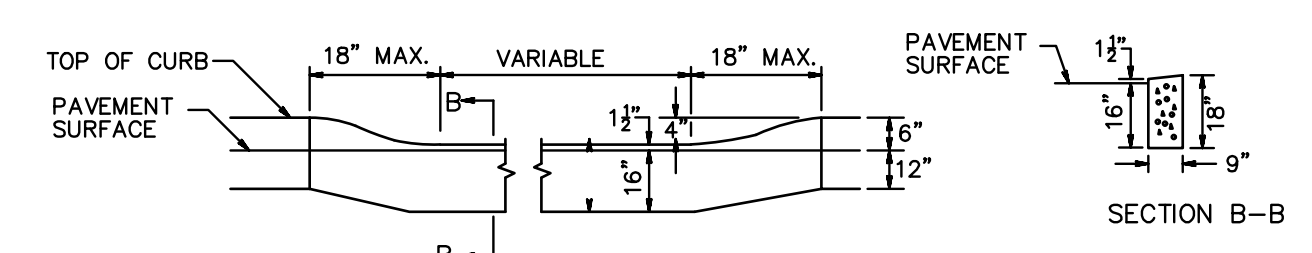
- NOTES:
1. PREFORMED BITUMINOUS EXPANSION JOINTS, 1/2" THICK, 4" WIDE, AND EXTENDING THE FULL WIDTH OF THE WALK, UNBROKEN, SHALL BE INSTALLED EVERY 20 FEET.
 2. CONTROL JOINTS SHALL BE INSTALLED EVERY 4 FEET THE FULL WALK WIDTH.
 3. THERE SHALL BE A FLOAT FINISH WITH TOOLED EDGES.
 4. IN ORDER TO MINIMIZE DISTURBANCE TO TREE ROOTS, SIDEWALK SHALL BE SHIFTED BACK ONE FOOT WITH AN INSIDE RADIUS OF APPROXIMATELY 12' AROUND ALL TREES.

CONCRETE SIDEWALK
NOT TO SCALE

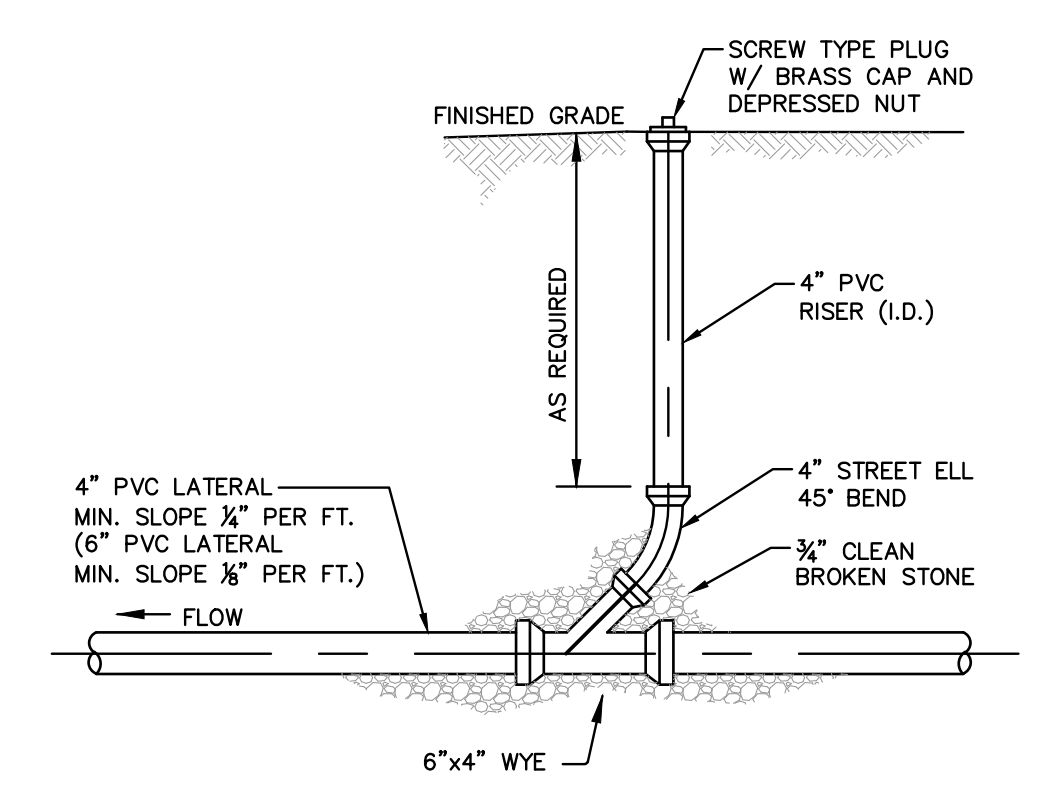


- NOTES:
 1. RUBBER SLEEVE SHALL CONFORM TO ASTM-C443.
 2. SECURING CLAMP SHALL BE SS#301 (BEND AND HOUSING), SS#305 (SCREW)
 3. HUB ADAPTOR SHALL BE PVC PER ASTM D3034 (SDR SAME AS LATERAL PIPE).

INSERTA TEE CONNECTION DETAIL
NOT TO SCALE



DEPRESSED CURB (DRIVEWAY ACCESS NON-ADA)
NOT TO SCALE



STANDARD CLEANOUT DETAIL
NOT TO SCALE

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| BRAIN BY: | CHECKED BY: | HORIZONTAL SCALE: | VERTICAL SCALE: |
| LV | MS | N/A | N/A |
| PROJECT No.: | DATE: | 03/04/24 | |
| SEL-2301 | | | |

Joseph Mele, P.E. & P.L.S.
 PROFESSIONAL ENGINEER & LAND SURVEYOR
 N.J. Lic. No. 48299
 Certificate of Authorization No. 24G08884900
 03/04/24

CONSTRUCTION DETAILS
 PROPOSED 4 UNIT TOWNHOUSE BUILDING
 103 & 115 CREEK ROAD
 BLOCK 70, LOTS 11, 12 & 13
 SITUATED IN
 BOROUGH OF KEANSBURG, MONMOUTH COUNTY, NEW JERSEY

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 28 Washington St. 3rd Floor
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