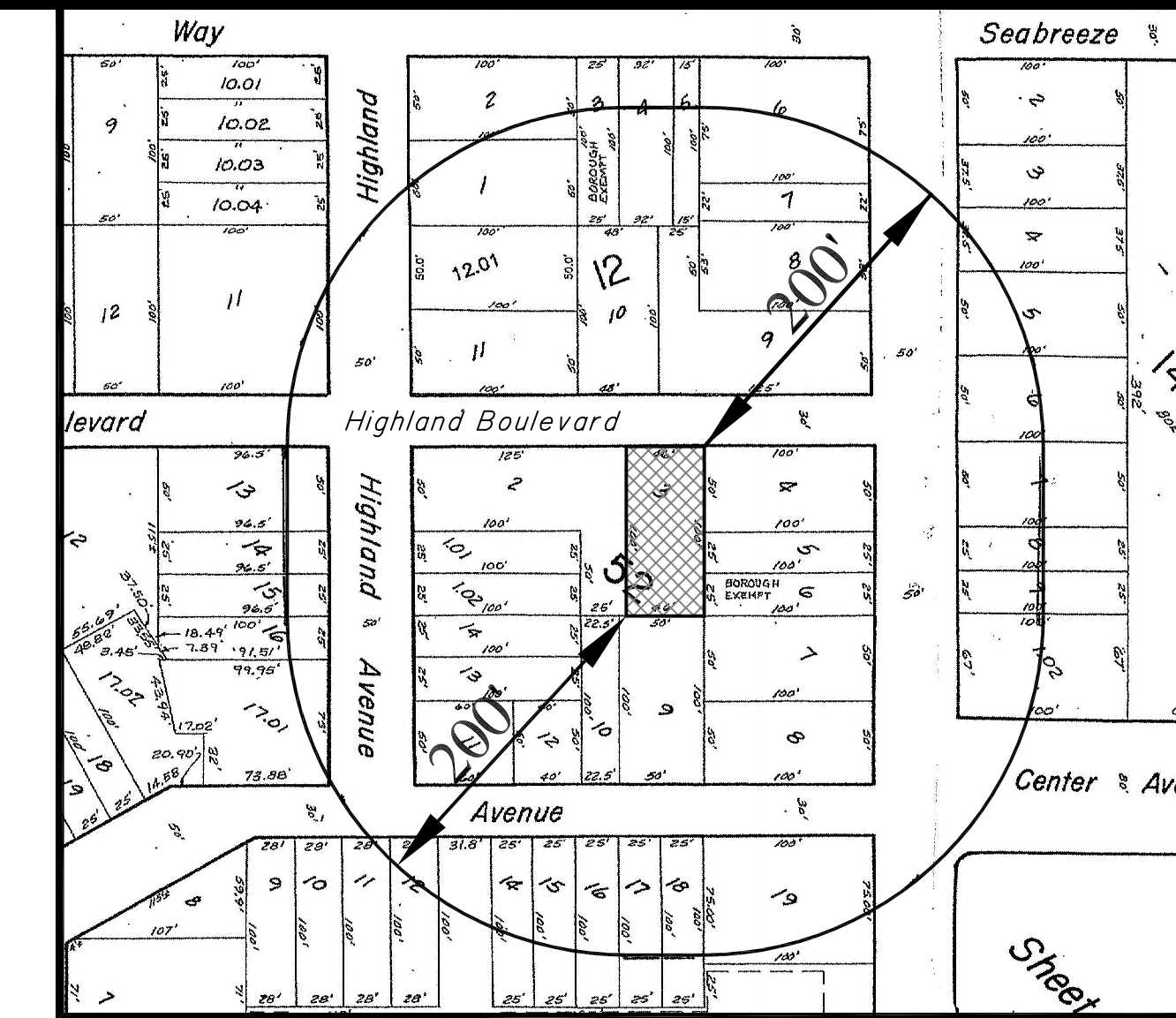


PROJECT LOCATION MAP

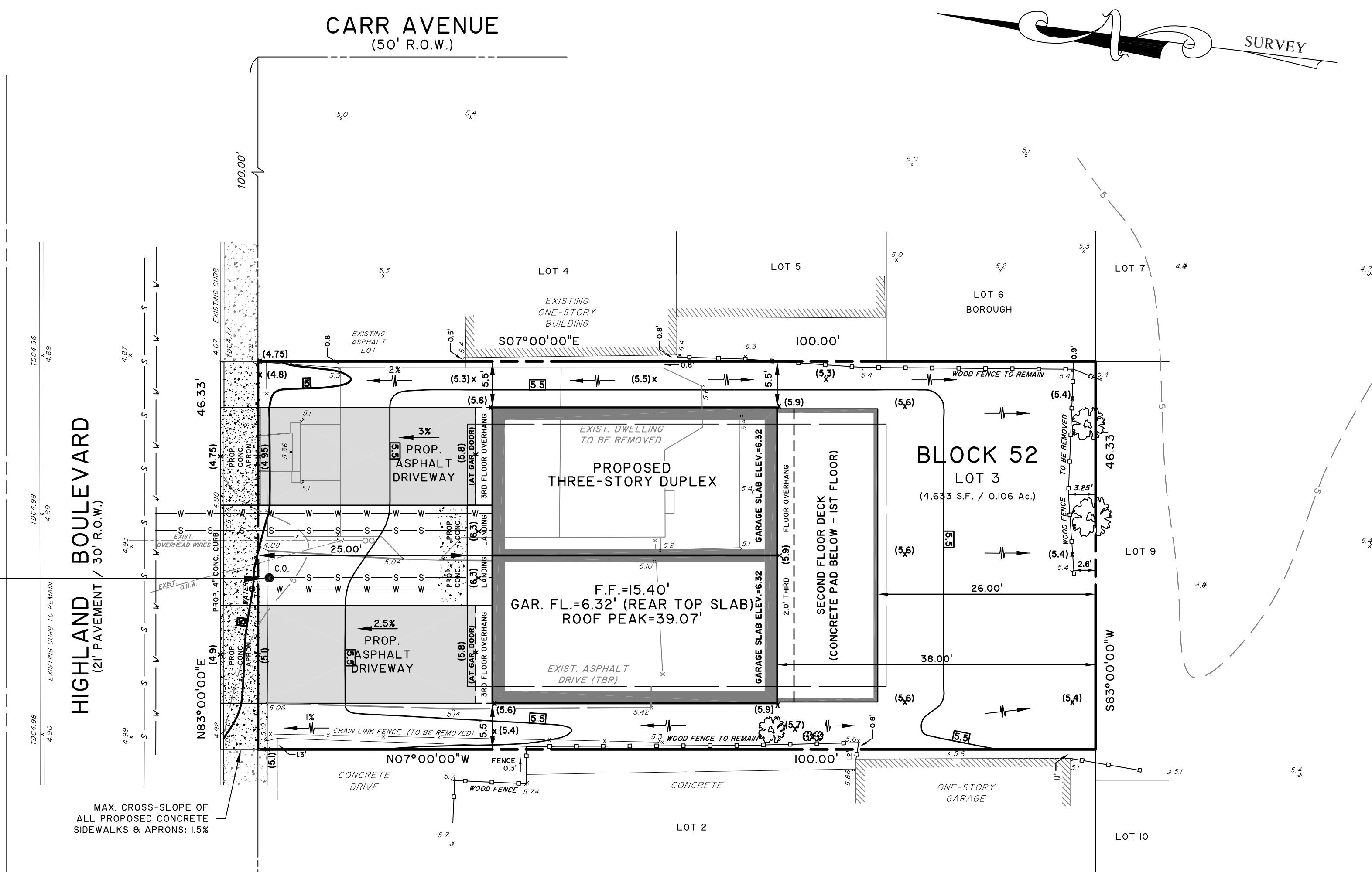
SCALE: 1" = 200'
SOURCE: HAGSTROM ROAD ATLAS



200' RADIUS MAP

SCALE: 1" = 100'
SOURCE: BOROUGH OF KEANSBURG TAX MAP

PROP. SANITARY SEWER & WATER SERVICES TO CONNECT TO EXISTING CLEAN-OUT & METER WHERE POSSIBLE (LOCATION TO BE FIELD-VERIFIED)



GRADING PLAN

SCALE: 1" = 10'

PROPERTY IS LOCATED IN THE R-5 RESIDENTIAL DISTRICT

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA (SQ. FT)	5,000	4,633	4,633*
MINIMUM LOT WIDTH & FRONTAGE (FT)	50	46.33	46.33*
PRINCIPAL BUILDING REQUIREMENTS:			
MINIMUM FRONT YARD SETBACK (FT)	25	10	25.0
MINIMUM REAR YARD SETBACK (FT)	25	42.5	26.0
MINIMUM ONE SIDE YARD SETBACK (FT)	7.5	0.8	5.5
MINIMUM COMBINED SIDE YARD SETBACK (FT)	15	23.4	11.0*
MAXIMUM LOT COVERAGE S.F. (%)	2,500(50%)	1,882(41%)	1,933(42%)
MAXIMUM BUILDING COVERAGE S.F. (%)	1,250(25%)	1,017(22%)	1,201(26%)*
MAXIMUM NUMBER OF STORIES	2.5	2	3*
MAXIMUM BUILDING HEIGHT (RIDGE) (FT)	35	±24	33.8
ACCESSORY STRUCTURE REQUIREMENTS:			
MINIMUM REAR YARD SETBACK (FT)	5	N/A	N/A
MINIMUM SIDE YARD SETBACK (FT)	5	N/A	N/A
MINIMUM BUILDING HEIGHT (FEET)	12	N/A	N/A
MAXIMUM NUMBER OF STORIES	1	N/A	N/A

*VARIANCE REQUIRED
NOTE: PROPOSED DECK NOT INCLUDED IN LOT COVERAGE CALCULATION

BUILDING HEIGHT CALCULATIONS

AVERAGE ELEVATION OF LOT IN BUILDING AREA:
 $5.4 + 5.6 + 5.3 + 5.1 + 5.1 + 5.1 = 31.6 / 6 = 5.27'$

MAXIMUM ALLOWABLE ROOF RIDGE ELEVATION: $5.27' + 35.0' = 40.27'$

PROPOSED ROOF PEAK ELEVATION: $15.40'(FF) + 23.67'(Arch) = 39.07'$

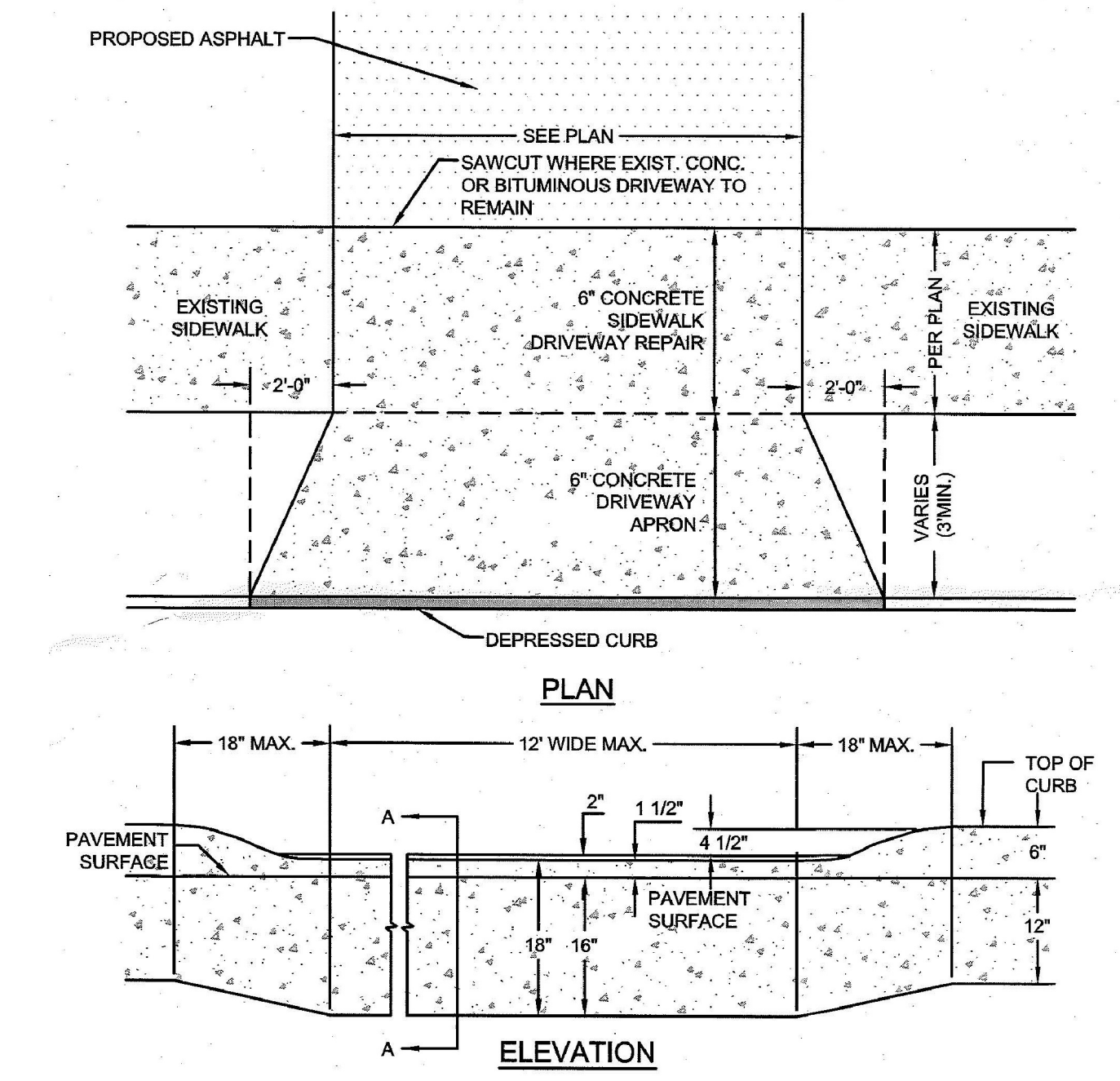
PROPOSED BUILDING HEIGHT: $39.07' - 5.27' = 33.80' (<35')$

- GENERAL NOTES:**
- BUILDING OFFSETS NOT TO BE USED TO ESTABLISH PROPERTY LINES.
 - LOT AND BLOCK NUMBERS REFER TO THE OFFICIAL TAX MAP OF THE MUNICIPALITY.
 - LOCATIONS OF UNDERGROUND UTILITIES, IF ANY, MAY NOT BE SHOWN.
 - PROPERTY SUBJECT TO ANY EASEMENT OF RECORD OR OTHER PERTINENT FACTS WHICH MAY BE DISCLOSED BY A TITLE SEARCH.
 - EXISTING OUTBOUND INFORMATION, LOCATIONS OF PHYSICAL FEATURES, BOUNDARY & LOT INFORMATION, EXISTING SETBACKS TAKEN FROM ARCHITECTURAL SURVEY OF PROPERTY PREPARED BY MCBURNE LAND SURVEYING, SIGNED BY RICHARD A. MCBURNE, P.L.S. AND DATED SEPTEMBER 14, 2020.
 - TOPOGRAPHIC INFORMATION, OUTBOUND INFORMATION, AND ADDITIONAL INFORMATION SUCH AS LOCATIONS OF PHYSICAL FEATURES, BOUNDARY & LOT INFORMATION, EXISTING SETBACKS TAKEN FROM TOPOGRAPHIC SURVEY OF PROPERTY PREPARED BY CHARLES BURNETTE, P.E. & P.L.S. AND DATED SEPTEMBER 4, 2024. TOPOGRAPHY BASED ON N.A.S.D. 1989 DATUM. CAD FILE OF THIS SURVEY WAS PROVIDED AND USED AS A BASE PLAN FOR GRADING PLAN.
 - PROPOSED BUILDING DIMENSIONS, INCLUDING ROOF HEIGHT, TAKEN FROM ARCHITECTURAL PLANS PREPARED BY PUZZO ARCHITECTS, ROBERT ADAM PUZZO, AIA, DATED FEBRUARY 22, 2024. UNDESIGNED PLANS WERE RECEIVED VIA EMAIL FROM THE APPLICANT/OWNER. FINAL SIGNED ARCHITECTURAL PLANS MUST CONFORM WITH THIS GRADING PLAN. THIS GRADING PLAN TO BE USED FOR GRADING AND DRAINAGE PURPOSES ONLY; SIGNED AND APPROVED ARCHITECTURAL PLANS MUST BE REFERENCED FOR ALL BUILDING RELATED ITEMS. ALL REVISIONS TO ARCHITECTURAL OR OTHER PLANS MUST CONFORM TO THE GRADING AND HORIZONTAL LOCATION LIMITS SHOWN ON THIS GRADING PLAN. HEIGHTS/ELEVATIONS OF ALL FLOORS AND ROOF PROVIDED BY THE PROPERTY OWNER AND/OR ARCHITECT WITH SITE GRADING DESIGNED ACCORDINGLY WHENEVER POSSIBLE. ARCHITECTURAL PLANS MAY NEED TO BE REVISED TO MATCH GRADING PLAN.
 - NO KNOWN STREAMS, BODIES OF WATER, REGULATED WETLANDS, ETC. ON OR NEARBY SUBJECT PROPERTY. WETLANDS, FLOOD HAZARD AREAS OR OTHER ENVIRONMENTALLY REGULATED FEATURES, IF ANY, NEITHER SHOWN NOR INVESTIGATED BY THE ENGINEER. SUCH WORK IS OUTSIDE THE SCOPE OF THE ENGINEER'S PROFESSIONAL SERVICES; IT IS RECOMMENDED THAT THE OWNER/BUILDER OBTAIN A WETLANDS PRESENCE/ABSENCE DETERMINATION OR A LETTER OF INTERPRETATION FROM NJDEP IN ALL INSTANCES. THIS PLAN DOES NOT INDICATE OR REFER TO ANY ENVIRONMENTAL APPROVALS AS IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO SEEK AND OBTAIN ANY SUCH PERMITS FROM NJDEP OR OTHER REGULATING AGENCIES.
 - ALL UTILITIES SHALL BE INSTALLED UNDERGROUND UNLESS OTHERWISE APPROVED OR INDICATED. PROPOSED UTILITIES TO BE CONNECTED TO EXISTING SERVICE MAINS ON-SITE WHERE POSSIBLE. ALL EXISTING UTILITIES LOCATIONS ARE APPROXIMATE AND UTILITIES MAY NEED TO BE RELOCATED TO ACCOMMODATE PROPOSED IMPROVEMENTS.
 - RAILINGS TO BE INSTALLED ALONG ALL RETAINING WALLS, PORCHES, STAIRS, DECKS, ETC. IN ACCORDANCE WITH BUILDING CODES.
 - ALL CONSTRUCTION OPERATIONS TO ADHERE TO THE SOIL EROSION AND SEDIMENT CONTROL STANDARDS OF NEW JERSEY.
 - ALL WATER AND SANITARY SEWER LINES SHALL BE SEPARATED 10' HORIZONTALLY OR 18" VERTICALLY WHEN THERE IS LESS THAN 10' HORIZONTAL SEPARATION.
 - APPLICANT IS RESPONSIBLE FOR THE LOCATION AND MARKING OF UNDERGROUND UTILITIES USING THE NJ ONE CALL SYSTEM.
 - ALL EXISTING TREES WITHIN THE LIMITS OF DISTURBANCE TO BE REMOVED AS REQUIRED BY PROPOSED GRADING.
 - PROPERTY LOCATED IN ZONE R-5 SINGLE-FAMILY RESIDENTIAL ZONE.
 - PROPERTY LOCATED WITHIN THE FEMA FLOOD ZONE "AE" WITH A BASE FLOOD ELEVATION (B.F.E.) OF 11 FEET BASED ON FEMA FLOOD MAP NO.34020C0204E (PANEL 34 OF 47), EFFECTIVE DATE SEPTEMBER 23, 2009. OWNER/APPLICANT SHALL CONFIRM REQUIRED FIRST FLOOR HEIGHT WITH BOROUGH OF KEANSBURG BUILDING DEPARTMENT AS THE BFE MAY NOT DEFINE THE REQUIRED FIRST FLOOR HEIGHT.

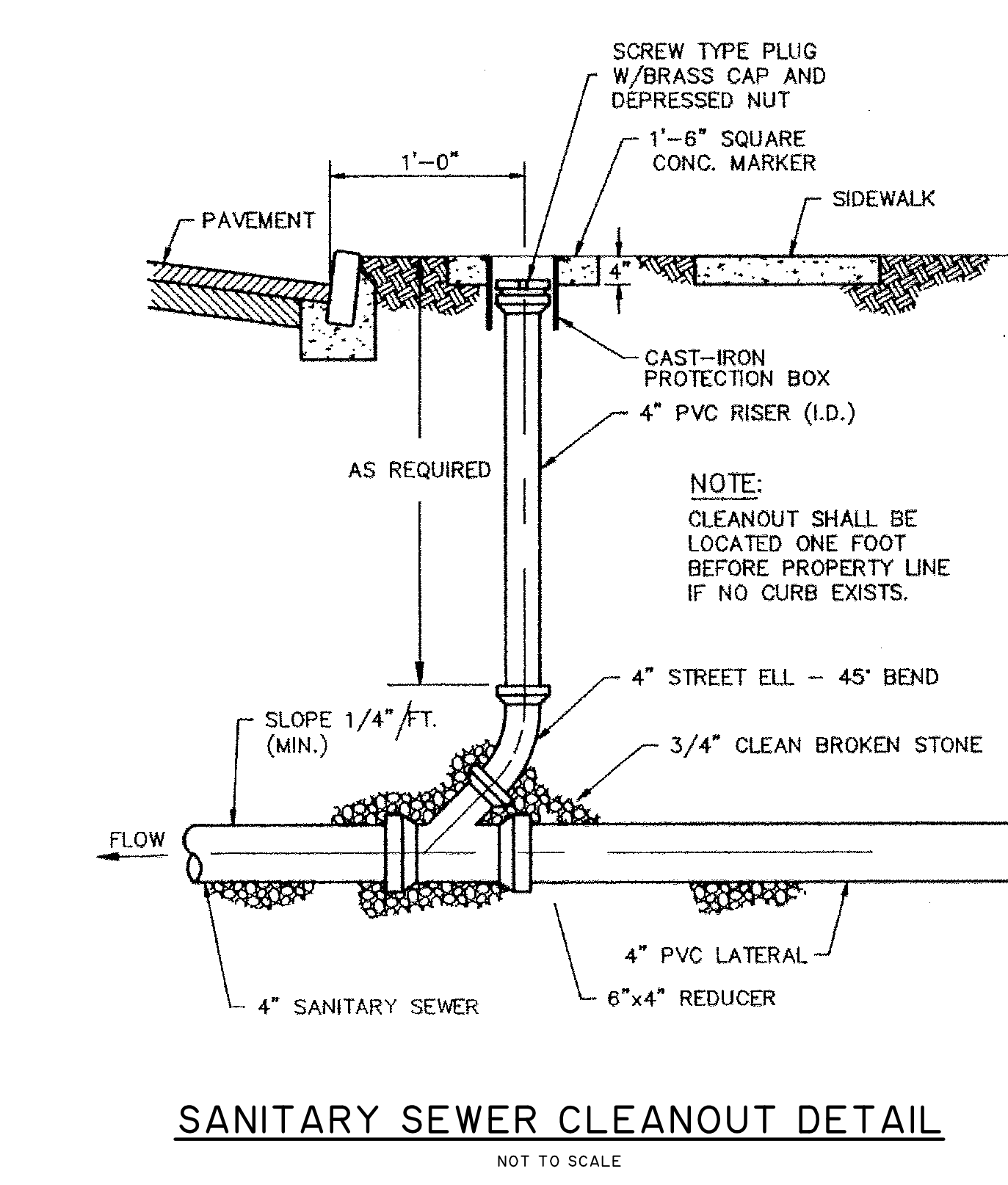
- GRADING NOTES:**
- PROPOSED ELEVATIONS SHOWN HEREON REFLECT GRADES NECESSARY FOR PROPER SITE DRAINAGE. PRIOR TO CONSTRUCTION, THE OWNER, ARCHITECT, AND CONTRACTOR MUST ENSURE THAT ALL GRADES, ELEVATIONS, BUILDING HEIGHTS, ETC. CONFORM TO THE GRADING, LOCATIONS, AND ELEVATIONS SHOWN ON THIS PLAN. OTHER PLANS MAY NEED TO BE REVISED SO THAT ELEVATIONS ON THESE PLANS MATCH ELEVATIONS ON THIS PLAN. FOR EXAMPLE, ARCHITECTURAL PLANS MAY NEED TO BE REVISED TO SHOW LOWER ROOF PITCH OR PROPOSED BUILDINGS TO ENSURE ADHERENCE TO BUILDING HEIGHT RESTRICTIONS. ENGINEER NOT RESPONSIBLE FOR STRUCTURES NOT CONSTRUCTED TO THE ELEVATIONS SHOWN HEREON.
 - THIS PLAN PREPARED TO SHOW PROPOSED SITE GRADING AND PROPOSED ELEVATIONS FOR POSITIVE DRAINAGE ONLY. THIS PLAN IS NOT INTENDED TO CONTAIN OR INCLUDE STRUCTURAL DESIGN OR PROPOSED RETAINING WALLS. STRUCTURAL CALCULATIONS, IF REQUIRED, SHALL BE PREPARED BY THE MANUFACTURER OR BY A PROFESSIONAL ENGINEER PURSUANT TO BUILDING CODES.
 - NO RUNOFF FROM IMPERVIOUS SURFACES (ROOFS, DRIVEWAYS, WALKS, ETC.) SHALL BE DIRECTED ONTO ADJACENT PROPERTIES. ROOF LINES AND/OR OTHER ARCHITECTURAL FEATURES MAY NEED TO BE REDESIGNED TO ACCOMMODATE THIS REQUIREMENT. ADDITIONAL BERMS, SHALES, OR RETENTION BASINS MAY NEED TO BE CONSTRUCTED FOR THE PURPOSE OF REDIRECTING OR RETAINING STORMWATER RUNOFF.
 - ALL GRASSED AREAS AND AREAS NEAR DWELLING SHALL HAVE A MINIMUM 2% SLOPE AWAY FROM THE FOUNDATION TO ALLOW FOR POSITIVE DRAINAGE AWAY FROM THE DWELLING.

- SOIL EROSION NOTES:**
- MAINTENANCE OF Silt FENCE, Silt Fence, and Interceptor Silt Fence should be accomplished on a weekly basis, or as directed by the Building Inspector or Municipal Engineer.
 - UPON COMPLETION OF CONSTRUCTION WORK AND AFTER FINAL GRADING AND WHEN PERMANENT STABILIZATION HAS BEEN ESTABLISHED, THE SOIL EROSION CONTROL DEVICES SHALL BE REMOVED BY THE CONTRACTOR.
 - ALL SOIL EROSION AND SILTATION CONTROL MEASURES MUST BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLAN PRIOR TO DISTURBANCE OF THE SITE.
 - ALL SLOPES TO BE STABILIZED WITH SEEDING AND MULCHING.
 - FOR COMPLETE SOIL EROSION AND SEDIMENT CONTROL DETAILS, MEASURES, AND NOTES SEE SOIL EROSION & SEDIMENT CONTROL PLANS AS APPROVED BY THE FREEHOLD SOIL CONSERVATION DISTRICT.

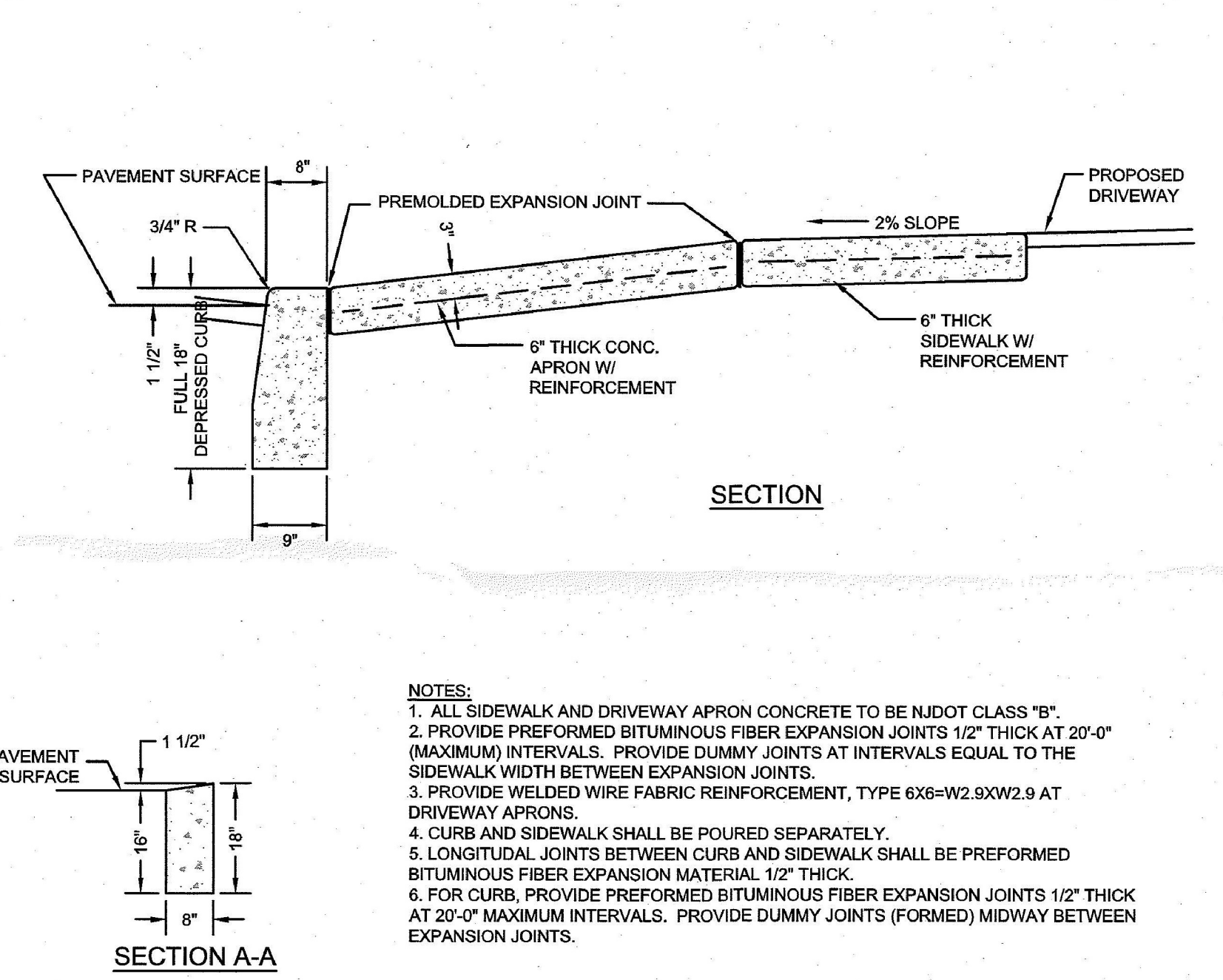
- SURVEY NOTES:**
- ARCHITECTURAL AND SURVEY INFORMATION, INCLUDING TOPOGRAPHY & LOCATIONS OF EXISTING PHYSICAL FEATURES, SETBACK LINES, ETC., SHOWN HEREON IS LIMITED TO THE INFORMATION REQUIRED TO PROPERLY GRADE THE PROPOSED IMPROVEMENTS. SOME INFORMATION FROM ARCHITECTURAL PLANS AND SURVEYS OF PROPERTY MAY NOT BE SHOWN HEREON. THE ORIGINAL SOURCE PLANS SHOULD BE REFERENCED FOR SUCH INFORMATION AND ANY CONFLICTS IMMEDIATELY REPORTED TO THE OWNER, BUILDER AND DESIGN PROFESSIONALS.



DEPRESSED CURB, DRIVEWAY APRON & SIDEWALK



SANITARY SEWER CLEANOUT DETAIL



WATER SERVICE HOUSE-CONNECTION DETAIL

PROPERTY OWNERS WITHIN 200 FEET

Block/Lot	Owner	Mailing Address	City	State	Zip
1323-14-02	RUSSELL J. LENGUY, LLC	49 STANFORD DR	HAZLET	NJ	07730
1323-14-4	CARR ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK	NJ	07712
1323-14-5	CARR ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK	NJ	07712
1323-14-6	CARR ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK	NJ	07712
1323-14-7	75 RAINEY LLC % SACKMAN	513 COOKMAN AVENUE	ASBURY PARK	NJ	07712
1323-14-8	75 RAINEY LLC	513 COOKMAN AVENUE	ASBURY PARK	NJ	07712
1323-14-9	RUSSELL J. LENGUY, L.L.C.	49 STANFORD DR	HAZLET	NJ	07730
1323-52-01	RYAN JOHN	65 HUTCHINSON STREET	CLARK	NJ	07066
1323-52-4	GENHRG FOUR LLC	513 COOKMAN AVENUE	ASBURY PARK	NJ	07712
1323-52-5	CARR PARTNERS LLC	513 COOKMAN AVE	ASBURY PARK	NJ	07712
1323-52-6	BORO OF KEANSBURG	29 CHURCH STREET	KEANSBURG	NJ	07734
1323-52-7	CARR ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK	NJ	07712
1323-52-8	CARR PARTNERS LLC	513 COOKMAN AVE	ASBURY PARK	NJ	07712
1323-52-9	CARR PARTNERS LLC	513 COOKMAN AVE	ASBURY PARK	NJ	07712
1323-12-1	CARR ENTERPRISES LLC	513 COOKMAN AVENUE	ASBURY PARK	NJ	07712
1323-12-3	BORO OF KEANSBURG-VACANT	29 CHURCH STREET	KEANSBURG	NJ	07734
1323-12-4	AZYM E HAB ADEL & HANY	8019 WALL STREET APT 3F	NORTH BERGEN	NJ	07047
1323-52-2	VALLARIO DANIEL	14 HIGHLAND BLVD APT 1A	KEANSBURG	NJ	07734
1323-12-5	CARR PROPERTIES KGB LLC	959 SPRINGFIELD AVE#100	SPRINGFIELD	NJ	07081
1323-56-13-01	CRYSTAL BAY TOWN ASSOC FOXWOOD	761 PALMER AVE	HOLMDEL	NJ	07733
1323-56-17	BOROUGH OF KEANSBURG	29 CHURCH STREET	KEANSBURG	NJ	07734
1323-56-19	69 CARR AVE KGB LLC	999 SPRINGFIELD AVE#100	SPRINGFIELD	NJ	07081
1323-12-6	CARR ENTERPRISES KGB LLC	959 SPRINGFIELD AVE#100	SPRINGFIELD	NJ	07081
1323-12-7	BOROUGH OF KEANSBURG	29 CHURCH STREET	KEANSBURG	NJ	07734
1323-12-8	CARR AVENUE TOPS LLC	17 WINSTON DRIVE	MIDDLETOWN	NJ	07748
1323-12-9	CARR AVENUE TOPS LLC	17 WINSTON DRIVE	MIDDLETOWN	NJ	07748
1323-12-10	9 HIGHLAND BLVD KGB LLC	959 SPRINGFIELD AVE#100	SPRINGFIELD	NJ	07081
1323-12-11	WOKAS ERIC	53 LEROY PL	RED BANK	NJ	07701
1323-12-12-01	WOKAS ERIC	53 LEROY PL	RED BANK	NJ	07701
1323-56-18	PEPE JOHN	4338 REDWOOD AVE APT128	MARINA DEL REY	CA	90292
1323-56-14	RUBIN CHAIM & GULKOWITZ BENA	4 DEWITT LANE	JACKSON	NJ	07081
1323-7-11	WOKAS ERIC	53 LEROY PL	RED BANK	NJ	07701
1323-56-15	BALESTRIERI BRIANNA M & GONZALEZ D	142 CENTER AVE	KEANSBURG	NJ	07734
1323-56-16	RICH JEAN	60 BAYSIDE PKWY	MIDDLETOWN	NJ	07748
1323-56-11	TOOTH RONALD DAVID	90 CUB LANE	ASBURY PARK	NJ	07712
1323-7-12	BREITHOFF CHARLES M JR.	212 NAVESINK AVE	HIGHLANDS	NJ	07732
1323-52-13	CHAD JOSEPH	58 HIGHLAND AVE	KEANSBURG	NJ	07734
1323-52-102	PELUSO GARY & MATTINA NICOLE	1-15 HALSTEAD TERRACE	FAIR LAWN	NJ	07410
1323-52-10	DESAI SWAPNIL	20 MONARCH PATH	MORGANVILLE	NJ	07753
1323-12-2	MARRERO PETER J & ERICA	30 SEABREEZE WAY	KEANSBURG	NJ	07734
1323-58-15	CHAIM RUBIN	4 DENMARK LANE	JACKSON	NJ	08527
1323-58-16	ADOBIA RAJPA A	53 HIGHLAND AVENUE	KEANSBURG	NJ	07735
1323-58-17-01	SMITH ADRIENNE W & TREANOR JAMES B&M	55 HIGHLAND AVE	KEANSBURG	NJ	07734
1323-58-13	TOHT THOMAS JR ETALS	30 BRANDON AVENUE	MONROE	NJ	08831
1323-52-14	ROBLES ADRIAN	54 HIGHLAND AVE	KEANSBURG	NJ	07734
1323-52-1	KRSTINOVIC JOSY	239 NEW RD BUNGA SITE 200	PASCOBY NJ	07054	
1323-52-11	CHAD JOSEPH K	58 HIGHLAND AVE	KEANSBURG	NJ	07734
1323-52-12	CRUZ EMMANUEL & DIAZ MICHAEL	143 CENTER AVE	KEANSBURG	NJ	07734

- NOTES:**
- ALL SIDEWALK AND DRIVEWAY APRON CONCRETE TO BE NJDOT CLASS "B".
 - PROVIDE PREFORMED BITUMINOUS FIBER EXPANSION JOINTS 1/2" THICK AT 20'-0" (MAXIMUM) INTERVALS. PROVIDE DUMMY JOINTS AT INTERVALS EQUAL TO THE SIDEWALK WIDTH BETWEEN EXPANSION JOINTS.
 - PROVIDE WELDED WIRE FABRIC REINFORCEMENT, TYPE 6X8-W2.9XW2.9 AT DRIVEWAY APRONS.
 - CURB AND SIDEWALK SHALL BE POURED SEPARATELY.
 - LONGITUDINAL JOINTS BETWEEN CURBS AND SIDEWALK SHALL BE PERFORMED BITUMINOUS FIBER EXPANSION MATERIAL 1/2" THICK.
 - FOR CURB, PROVIDE PREFORMED BITUMINOUS FIBER EXPANSION JOINTS 1/2" THICK AT 20'-0" MAXIMUM INTERVALS. PROVIDE DUMMY JOINTS (FORMED) MIDWAY BETWEEN EXPANSION JOINTS.

LEGEND:

EXISTING CONTOURS	---	10
PROPOSED CONTOURS	---	10
EXISTING SPOT ELEVATION	---	100.66
PROPOSED SPOT ELEVATION	---	100.00
DRAINAGE DIRECTION	---	---
SANITARY SEWER LINE	---	---
WATER LINE	---	---
GAS LINE	---	---

OWNER/APPLICANT
 JOSIV KRSTINOVSKI
 150 PASSAIC AVE
 ROSELAND NJ 07068

- 8 HIGHLAND BOULEVARD -

VARIANCE PLAN
BLOCK 52 LOT 3

SITUATED IN:
 BOROUGH OF KEANSBURG, MONMOUTH COUNTY, NEW JERSEY

JOSEPH E. MALONEY
 PROFESSIONAL ENGINEER - PROFESSIONAL PLANNER
 321 Kings Hwy East, Middletown, New Jersey 07748
 Phone: (732) 671-4040 - Email: TedMaloney@TedMaloney.com

JOSEPH E. MALONEY
 New Jersey Professional Engineer Lic. No. 41961

DATE: 2/24/25
 SCALE: 1" = 10'
 CHECKED BY: T.M.
 APPROVED BY: J.E.M.
 SHEET NO. J.E.M.
 MAP NO. M-106
 SHEET NO. 2/24/25
 NEW JERSEY PROFESSIONAL ENGINEER LICENSE No. 41961 DATE 1 OF 1

REVISIONS

NO.	DATE	DESCRIPTION	BY