

GENERAL CONDITIONS UNLESS OTHERWISE NOTED, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION OF THE PROJECT SHALL APPLY. THE CONTRACTOR SHALL OBTAIN CERTIFICATE OF OCCUPANCY. SUBSTITUTIONS SHOULD NOT BE MADE WITHOUT WRITTEN AUTHORIZATION BY THE ARCHITECT. THE PREMISES SHALL BE KEPT REASONABLY CLEAN AT ALL TIMES. AT THE COMPLETION OF WORK, THE CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS, TOOLS, RUBBISH, ETC., CLEAN GLASS AND LEAVE WORK ROOM CLEAN UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL CARRY WORKMAN'S COMPENSATION AND GENERAL LIABILITY INSURANCE. ALL SHALL COMPLY WITH STATE AND LOCAL CODES AND ORDINANCES. THE CONTRACTOR SHOULD FULLY GUARANTEE HIS WORK AND THE WORK OF HIS SUBCONTRACTORS FOR A PERIOD OF ONE YEAR AFTER COMPLETION OF THE PROJECT UNLESS OTHERWISE SPECIFIED. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH GOOD BUILDING PRACTICES. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER, ARCHITECT, AND THEIR AGENTS AND EMPLOYEES FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK PROVIDED THAT ANY SUCH CLAIM, DAMAGE, LOSS OR EXPENSE (A) IS ATTRIBUTABLE TO BODILY INJURY, SICKNESS, DISEASE OR DEATH OR TO INJURY TO OR DESTRUCTION OF TANGIBLE PROPERTY (OTHER THAN THE WORK ITSELF INCLUDING THE LOSS OR USE RESULTING THEREFROM); (B) IS CAUSED IN WHOLE OR IN PART BY ANY NEGLIGENT ACT OR OMISSION OF THE CONTRACTOR, ANY SUBCONTRACTOR, ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY ANY OF THEM, OR ANYONE FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE REGARDLESS OF WHETHER OR NOT IT IS CAUSED IN PART BY A PARTY INDEMNIFIED HEREUNDER. ALL MATERIALS, ASSEMBLIES, AND METHOD OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO FORM-WORK, BLOCK-WORK, FRAMING, NAILING, PLACING, ETC., ARE TO BE CAREFULLY SUPERVISED BY THE CONTRACTOR TO BE SURE THEY ARE IN ACCORDANCE WITH THE DRAWINGS, SPECIFICATIONS, APPLICABLE CODES AND GOOD PRACTICE. DEVIATIONS FROM THE DRAWINGS AND SPECIFICATIONS WILL NOT BE PERMITTED WITHOUT WRITTEN AUTHORIZATION OF THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SHOP DRAWINGS WHICH MAY BE NEEDED. ALL DIMENSIONS AND CONDITIONS ARE TO BE FIELD VERIFIED. CONTRACTOR TO REMOVE & RELOCATE AS REQUIRED ALL EXISTING WORK WHICH INTERFERES WITH NEW CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE DRAWINGS FOR DIMENSIONS. IF NO DIMENSIONS ARE PROVIDED, CONSULT DESIGNER FOR CLARIFICATION PRIOR TO PROCEEDING. CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING THE PROJECT WATER-TIGHT - WEATHER TIGHT NOT WITHSTANDING ANYTHING IN THE CONTRACT DOCUMENTS.

SITE WORK IS TO BE PERFORMED BY A LICENSED SURVEYOR. STAKING AND LAYOUT ARE TO ESTABLISH ALL LINES AND BENCHMARKS. VERIFY ALL GIVEN DATA ON DRAWINGS. IN CASE OF DISCREPANCY, RECEIVE CLARIFICATION FROM ARCHITECT PRIOR TO PROCEEDING. EXCAVATE AND BACK FILL FOR WORK INDICATED ON DRAWINGS. STOCKPILE TOPSOIL OBTAINED FROM STRIPPING DRIVEWAY AND BUILDING SITE. STOCKPILE ALL EXCAVATED MATERIAL. NEW AND EXISTING BACK FILL MATERIAL AND TOPSOIL ARE TO BE FREE OF WEEDS, TREE ROOTS, ROCKS AND DEBRIS. ALL SURPLUS MATERIAL THAT IS UNSUITABLE FOR BACK FILL MATERIAL SHALL BE REMOVED FROM THE SITE. PROTECT ALL TREES WITHIN EIGHT FEET OF THE BUILDING. PROPER APPROVALS MUST BE OBTAINED BEFORE COVERING ANY EXCAVATED WORK. PATIOS ARE TO BE SLOPED 1/8" TO 1/4" PER FOOT AWAY FROM RESIDENCE. PRIOR TO BEGINNING ANY EXCAVATION, CONTRACTOR SHALL VERIFY AND MARK ALL UNDERGROUND UTILITY LOCATIONS.

CONCRETE NO CONCRETE OR MASONRY WORK SHALL BE DONE DURING TEMPERATURES OF 40 DEGREES F. AND FALLING. NO CONCRETE SHALL BE PLACED ON FROZEN SURFACES. NO ADJUSTS SHALL BE ALLOWED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT. ALL CONCRETE IS TO BE MIN. 3,000 P.S.I. AT 28 DAYS & 3,500 PSI FOR GARAGE SLAB. PROVIDE ALL SLEEVES AND FOUNDATION VENTS AS REQUIRED BY LOCAL CODES. UNLESS OTHERWISE INDICATED, ALL FOUNDATION FOOTINGS ARE TO BE A MIN. 8" DEEP PROJECTING 6" ON EACH SIDE OF THE FOUNDATION WALL. PROVIDE TWO #4 DEFORMED BARS CONTINUOUS IN THE FOOTING. ALL 4" THICK CONCRETE SLABS TO HAVE 6X6 10/10 WELDED WIRE REINFORCING. ANCHOR BOLTS IN CONCRETE SHALL BE HOOKED 5/8" X 12" AT MAX. 40" O.C. AND MAX. 12" FROM CORNERS. PROVIDE BITUMEN EXPANSION JOINTS BETWEEN SLABS AND FOUNDATION WALLS.

GARAGES GARAGE SEPARATION SHALL COMPLY PER FTO-13 AND BE SEPARATED FROM RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 5/8" TYPE-X GYP. BD. APPLIED TO GARAGE SIDE. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 2 LAYERS OF 5/8" TYPE-X GYP. BD. OPENINGS BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK. GARAGE COMPLIANCE SHALL BE INSTALLED 18" ABOVE FLOOR ON A PLATFORM. GARAGE FLOORS ARE TO BE SLOPED TOWARD THE GARAGE DOOR TO FACILITATE THE MOVEMENT OF LIQUIDS.

ELECTRICAL ALL WORK SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE AND ALL STATE, LOCAL, AND UTILITY COMPANY CODES AND REGULATIONS. ALL CIRCUITS SHALL BE MINIMUM 15 AMP. POWER WIRING SHALL BE MINIMUM 14 AWG. CONVENIENCE OUTLETS SHALL BE SPACED 12" ABOVE FINISHED FLOOR UNLESS OTHERWISE INDICATED. ALL SWITCHED TO BE LOCATED 36" ABOVE THE FINISHED FLOOR UNLESS OTHERWISE INDICATED. SUPPLY RECOMMENDED LAMPS IN ALL FIXTURES.

FRAMING AND ROUGH CARPENTRY JOISTS RAFTERS AND STUDS SHALL BE CONSTRUCTION GRADE SELECT RED OAK. STRIPS ALL WOOD SILLS AND WOOD IN CONTACT WITH MASONRY SHALL BE ACQ TREATED. ALL METAL FASTENERS IN CONTACT WITH ACQ TREATED LUMBER TO BE DOUBLE HOT DIPPED GALVANIZED OR AS SPECIFIED BY MANUFACTURER. TERMINAL SHIELDS AT SILL TO BE COPPER OR OTHER APPROVED NON CORROSIVE MATERIAL. ALL EXTERIOR SHEATHING SHALL BE 1/2 CDX DOUGLAS FIR PLYWOOD. SUB-FLOORS TO BE 3/4" CDX PLYWOOD. EXTERIOR SHEATHING TO BE COVERED WITH "TYVEK" HOUSE WRAP OR APPROVED EQUAL. BLOCK STUD WALLS AT 1/2 STORY HEIGHTS AND AT ALL UNSUPPORTED EDGES OF PLYWOOD. PROVIDE SOLID BLOCKING AND DIAGONAL BRACING OF FLOOR JOISTS AT 8' O.C. MAXIMUM AND SOLID BLOCKING UNDER ALL UNSUPPORTED EDGES OF PLYWOOD. ALL CAP PLATES TO BE DOUBLED AND NAILED BOTTOM CAP PLATED TO END OF STUDS. LAP CAP PLATES AT CORNERS. TOE NAIL JOISTS TO CAP OR BEAM WITH - WHERE FLUSH FRAMING OCCURS. USE MIN. 16GA SHEET METAL JOISTS HANGERS BY "SIMPSON" OR APPROVED EQUAL. ALL CORNERS TO BE MINIMUM 3/2X4 STUDS. HEADERS SHALL BE MINIMUM 2/2X6 UNLESS NOTED ON PLANS. MINIMUM BEARING FOR STUDS, JOISTS AND BEAMS SHALL BE 1/2" USE DOUBLE JACK STUDS FOR HEADERS OVER FIVE FEET IN LENGTH. FIRE BLOCKING SHALL BE PROVIDED IN THE FOLLOWING AREAS:

A) CONCEALED SPACES OF STUD WALLS AT FLOOR AND CEILING LEVELS
B) SOFFITS AND FURRED SPACES AT 10' FOOT LEVELS BOTH VERT. AND HORIZ.
C) ALL INTERCONNECTIONS BETWEEN CONCEALED HORIZONTAL AND VERTICAL SPACES WHICH OCCUR AT DROP SOFFITS, CEILING, AND CROWN CEILING.
D) BETWEEN STAIR STRINGERS IN BOTTOM AND TOP OF RUN, AND BETWEEN STUDS LONG AND IN LINE WITH THE STRINGERS.
E) OPENINGS AROUND DUCTS, PIPES, VENTS AND CHIMNEYS WITH NON-COMBUSTIBLE MATERIALS.

PLUMBING CONTRACTOR SHALL INSTALL WATER SUPPLY AND SANITARY SYSTEM AS INDICATED AND AS PER THE NATIONAL STANDARD PLUMBING CODE. PROVIDE HOT AND COLD SHUT-OFF VALVES AT ALL FIXTURES. ALL WATER PIPING TO HAVE CLEANOUTS AT ALL CHANGES OF DIRECTION AND AT BASE OF VERTICAL WASTES. USE 4" CAST IRON THROUGH FOUNDATION WALL PITCHED MIN. 1/8" PER FOOT. TRAP/WASTE SIZES FOR FIXTURES SHALL BE AS FOLLOWS:
DISH WASHER 1 1/2"
KITCHEN SINK 1 1/2"
LAVATORY 1 1/4"
SHOWER 2"
TOILET 3" 3/4" MATCH FIXTURE OUTLET
ALL SYSTEMS TO HAVE ONE 3" MAIN VENT STACK INCREASED TO 4" THROUGH THE ROOF. PROVIDE FROST PROOF HOSE BIBS AS INDICATED. PLUMBING WITH EASILY ACCESSIBLE DRAIN DRAIN-COCKS. THE WATER SUPPLY AND SEWAGE DISPOSAL SYSTEM SHALL COMPLY TO THE APPLICABLE COUNTY DEPARTMENT OF HEALTH STANDARDS AND REGULATIONS. APPROVAL OF ALL PLUMBING MUST BE OBTAINED FROM APPROPRIATE LOCAL AUTHORITIES PRIOR TO CONCEALMENT. PRIOR TO ORDERING, CONTRACTOR SHALL SUPPLY CUTS OF FIXTURES FOR OWNERS APPROVAL. IN THE EVENT THAT THE OWNER CHANGES, THE CONTRACTOR SHALL CREDIT THE OWNER FOR THE FULL SUBCONTRACTORS COST FOR THE CHANGED UNIT.

INTERNATIONAL ENERGY CONSERVATION CODE AIR LEAKAGE: -JOINTS, PENETRATIONS, AND ALL OTHER SUCH OPENINGS IN THE BUILDINGS ENVELOPE THAT ARE SOURCES OF AIR LEAKAGE MUST BE SEALED.
D) BETWEEN STAIR STRINGERS IN BOTTOM AND TOP OF RUN, AND BETWEEN STUDS LONG AND IN LINE WITH THE STRINGERS.
E) OPENINGS AROUND DUCTS, PIPES, VENTS AND CHIMNEYS WITH NON-COMBUSTIBLE MATERIALS AND 3" CLEARANCE FROM INSULATION

VAPOR RETARDER: -REQUIRED ON THE WARM-IN-WINTER SIDE OF ALL NON-VENTED FRAMED CEILINGS, WALLS, AND FLOORS.

MATERIALS IDENTIFICATION: -MATERIALS AND EQUIPMENT MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS INDICATED.
-MATERIALS AND EQUIPMENT MUST IDENTIFIED SO THAT THE COMPLIANCE CAN BE DETERMINED.
-MANUFACTURER MANUALS FOR ALL INSTALLED HEATING AND COOLING EQUIPMENT AND SERVICE WATER HEATING EQUIPMENT MUST BE PROVIDED.
-INSULATION R-VALUES AND GLAZING U-FACTORS MUST BE CLEARLY MARKED ON THE BUILDING PLANS OR SPECIFICATIONS.

TEMPERATURE CONTROLS: -EACH DWELLING UNIT HAS AT LEAST ONE THERMOSTAT CAPABLE OF AUTOMATICALLY ADJUSTING THE SPACE TEMPERATURE SET POINT OF THE LARGEST ZONE.
STAIRS/GUARDS STAIRWAYS SHALL BE NOT LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT.
HEADROOM SHALL BE A MIN. OF 6 FEET 8 INCHES MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING.
STAIR RISER HEIGHT SHALL BE A MAXIMUM OF 8-1/4 INCHES. STAIR TREAD DEPTH SHALL BE A MIN. OF 9 INCHES. ALL TREADS AND RISERS ARE TO BE UNIFORM IN HEIGHT AND DEPTH.
STAIR PROFILE, STAIRS WITH A TREAD DEPTH OF LESS THAN 11 INCHES ARE REQUIRED TO HAVE A NOSING OF BETWEEN 3/4 AND 1-1/4 INCHES.
LANDINGS FOR STAIRS, THERE SHALL BE A LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY, AND BE A MIN. OF 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL.
HANDRAILS SHALL BE COMPLY PER IRC R311.7.7 HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRS AND SHALL BE 36" IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS.
GUARDS SHALL BE PROVIDED ALONG OPEN-SIDED WALKING SURFACES THAT ARE LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW. GUARDS SHALL BE NOT LESS THAN 36 INCHES IN HEIGHT.

WOOD FLOORING WOOD FLOORING TO BE 2 1/4" WIDE BY 3/4" THICK CONSTRUCTION GRADE DOUGLAS FIR #2 OR BETTER. MINIMUM 2" IN LENGTH. FLOORING SHALL BE PERMANENTLY FASTENED TO SUBFLOOR WITH 2" BARBED FASTENERS. ALL JOINTS TO BE TIGHT WITH BOARD EDGES FREE OF DEFORMITIES. ALLOW FOR PERIMETER EXPANSION AS RECOMMENDED BY WOOD FLOOR MANUFACTURER. PREPARATION AND FINISHING:
ALL PLANK FLOORING TO BE SANDED THREE TIMES: ONE COURSE CUT, ONE MEDIUM CUT, AND ONE FINE CUT. ALL SANDING TO BE UNIFORM. SWIRLS AND CROSS-MARKS ARE UNACCEPTABLE. TWO COATS OF STAIN, APPROVED BY THE ARCHITECT AND/OR OWNER SHALL BE APPLIED IN A UNIFORM MANNER. FLOORING SHALL BE SEALED WITH TWO COATS OF NON-YELLOWING POLYURETHANE. MANUFACTURED BY MCKLUSKY'S HEIRLOOM SERIES, EGGHELL FINISH OR APPROVED EQUAL.

PAINTING AND STAINING THE FOLLOWING IS INCLUDED FOR THE CONVENIENCE OF THE PAINTING CONTRACTORS AND ONLY AS AN INDICATION OF THE TYPES OF PAINTS REQUIRED FOR VARIOUS SURFACES. IT IS THE INTENT OF THESE SPECIFICATIONS TO PROVIDE A COMPLETE FINISH. ALL PAINTS AND STAININGS MUST BE FULLY COVERED IN A UNIFORM MANNER TO BE ACCEPTABLE.
INTERIOR WOOD SURFACES- APPLY TO LIGHTLY SANDED SURFACES, WALLS, DOORS, FRAMES, TRIM, AND BASES. ONE COAT WOOD FILLER OR STAIN AND TWO COATS MCKLUSKY'S EGGHELL FINISH NON-YELLOWING POLYURETHANE.
GYPSUM BOARD- MINIMUM ONE COAT PRIMER AND TWO COATS FLAT PAINT.
EXTERIOR WOOD SURFACES- TWO COATS EXTERIOR GRADE STAIN.
EXTERIOR EXPOSED METAL- MINIMUM ONE COAT ZINC CHROMATE AND TWO COATS EXTERIOR ENAMEL.
ALL MATERIAL SHALL BE OF BEST QUALITY PITTSBURGH, PRATT & LAMBERT, DUTCH BOY, CABOTS, MCKLUSKY'S, OR APPROVED EQUAL.
CONTRACTOR IS TO PROVIDE SAMPLES OF ALL PAINTS AND STAINS FOR ARCHITECT'S AND/OR OWNERS APPROVAL.

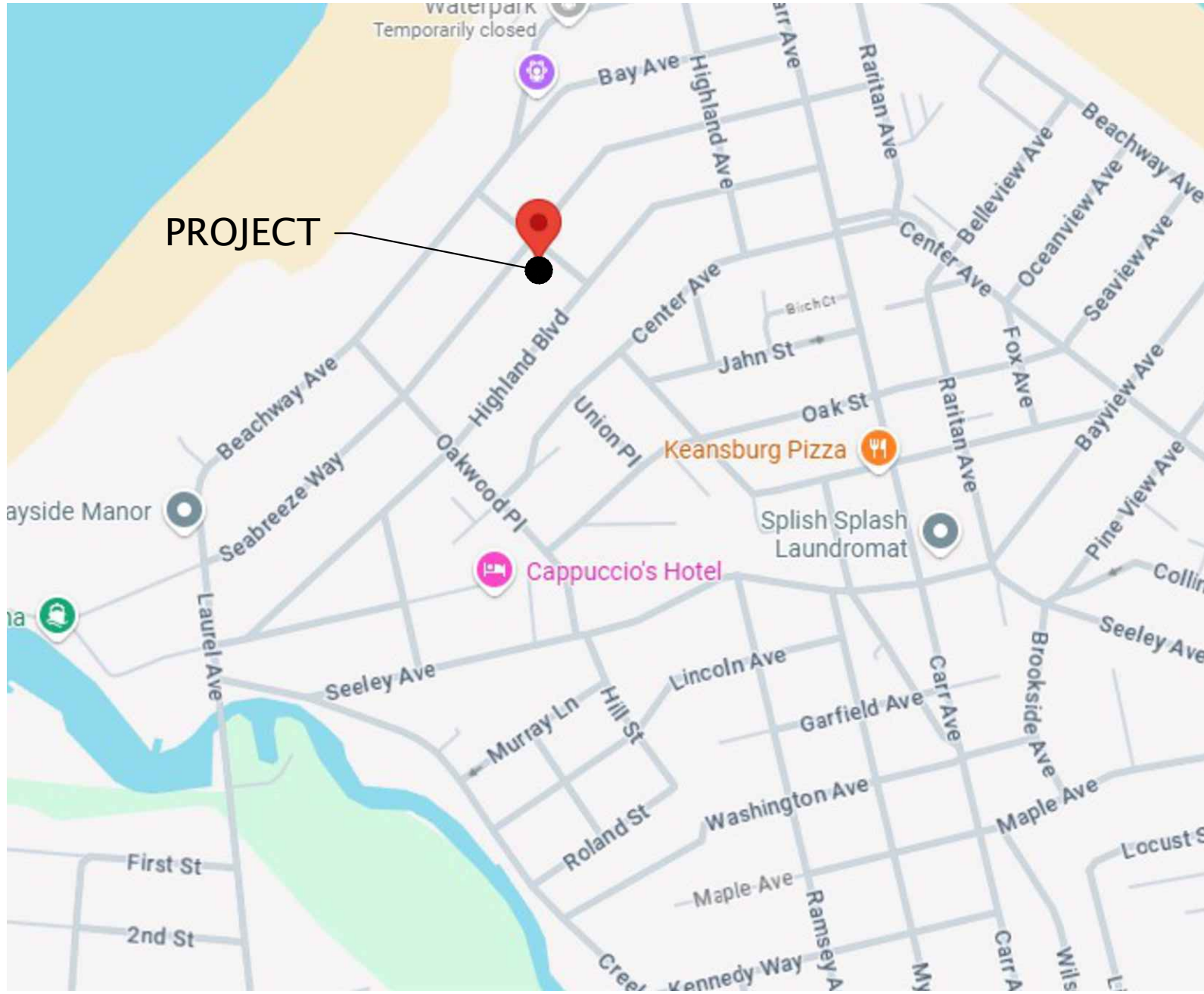
GYPSUM WALL BOARD INSTALLED AS PER SECTION R702.3 OF THE INTERNATIONAL RESIDENTIAL CODE. GYPSUM WALL BOARD APPLICATION SHALL BE TAPE JOINT SYSTEM. ALL GYPSUM BOARD TO BE 1/2" ON WALLS AND 1/2" ON CEILINGS UNLESS OTHERWISE INDICATED. FINISH JOINTS, J-BEADS, NAIL DIMPLES, CORNERS AND EDGES SHALL BE TAPED AND RECEIVE THREE COATS OF JOINT COMPOUND. ALLOW 24 HOURS TO DRY BETWEEN COATS. FINAL COAT TO BE SANDED SMOOTH. METAL CORNER BEAD TO BE USED ON ALL OUTSIDE CORNERS AND AROUND ALL OPENINGS.
ALL BATHROOMS SHALL BE PROVIDED WITH MOISTURE RESISTANT GYPSUM BOARD.
ALL TUBS & SHOWER ENCLOSURES TO RECEIVE TILE SHALL BE PROVIDED WITH CEMENT BACKER BOARD OR APPROVED EQUAL.

GLASS WINDOWS AND DOORS TO BE INSTALLED AS PER THE INTERNATIONAL RESIDENTIAL CODE. ALL GLASS IS TO BE INSULATED LOW-E UNLESS OTHERWISE SPECIFIED. GLASS SUBCONTRACTOR SHALL NOT INSTALL GLASS UNTIL PROPER CLEARANCES ARE PROVIDED. ALL SLIDING GLASS DOORS, SKYLIGHTS AND/OR WINDOWS AS REQUIRED BY CODE, SHALL BE INSULATED TEMPERED GLASS. ALL GLASS DOORS AND WINDOWS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS. ALL WINDOWS ARE TO BE CAULKED AND SEALED AS PER ICC ENERGY REQUIREMENTS. PROVIDE FLASHING PANS UNDER ALL SLIDER, DOORS, AND WINDOWS WITHIN A 6" OF AN EXTERIOR SURFACE. ALL EXTERIOR DOORS ARE TO BE FULLY WEATHER-STRIPPED. PROVIDE ALL SCREENS AND HARDWARE AS REQUIRED. ALL GLASS IS TO BE FREE OF SCRATCHES AND IMPERFECTIONS AND GUARANTEED BY THE MANUFACTURER FOR A PERIOD OF NO LESS THAN 5 YEARS. ALL WINDOWS TO BE ANDERSEN UNLESS INDICATED OTHERWISE. WINDOWS USED FOR RESCUE OR ESCAPE SHALL HAVE A MIN. NET CLEAR OPENABLE AREA OF 5.7 SQ. FT. MIN. WIDTH - 20 INCHES MIN. HEIGHT - 24 INCHES/ WINDOW SILL HEIGHT = MAX 44 INCHES SAFETY GLASS SHALL BE PER IRC R308.4 AND PROVIDED WERE GLASS IS LOCATED IN HAZARDOUS AREA AND ALL GLASS WITHIN 18" OF FLOOR. EXCEPTIONS:
1) DOORS AND ENCLOSURES FOR BATHTUBS AND SHOWERS AND IN ANY PORTION OF A BUILDING WALL ENCLOSED THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET.
2) FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
ROOMS THAT ARE HABITABLE SHALL BE PROVIDED WITH A GLAZING AREA NOT LESS THAN 8% WITH A MINIMUM OPENABLE AREA TO EXTERIOR OF 4% BASED ON THE FLOOR AREA BEING VENTILATED PER IRC R303.1 AND R303.2.

ASPHALT ROOF SHINGLES INSTALLED AS PER SECTION R905.2 OF THE INTERNATIONAL RESIDENTIAL CODE. ALL SLOPED ROOF SHINGLES SHALL BE GAF-CLASS-A ASPHALT ROOF SHINGLES OR APPROVED EQUAL. SHINGLES SHALL BE APPLIED OVER 15# ASPHALT FELT WITH GAF-WEATHER-WATCH ICE AND WATER BARRIER APPLIES AT EAVES, VALLEYS AND FLASHING. ROOFING CONTRACTOR TO PROVIDE ALL FLASHING NECESSARY FOR A WATER-TIGHT, WEATHER-PROOF JOB. ROOFING IS TO BE APPLIED IN STRICT ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS. CONTRACTOR SHALL SUPPLY COLOR SAMPLES OF THE SHINGLES FOR OWNER'S APPROVAL, PRIOR TO INSTALLATION.
INSULATION ALL EXTERIOR WALLS AND ROOFS SHALL BE INSTALLED WITH KRAFF TAFED FIBERGLASS BATT INSULATION BY JOHN MANVILLE OR APPROVED EQUAL, KRAFF TO BE PLACED TOWARD WARM SIDE. PROVIDE 1-1/2" RIGID FOAM INSULATION ON ALL EXTERIOR FOUNDATION WALLS FROM FOOTING TO 6" BELOW FINISHED GRADE UNLESS OTHERWISE SPECIFIED. CARE SHOULD BE TAKEN NOT TO DAMAGE FOUNDATION WATERPROOFING.

WOOD FLOORING WOOD FLOORING TO BE 2 1/4" WIDE BY 3/4" THICK CONSTRUCTION GRADE DOUGLAS FIR #2 OR BETTER. MINIMUM 2" IN LENGTH. FLOORING SHALL BE PERMANENTLY FASTENED TO SUBFLOOR WITH 2" BARBED FASTENERS. ALL JOINTS TO BE TIGHT WITH BOARD EDGES FREE OF DEFORMITIES. ALLOW FOR PERIMETER EXPANSION AS RECOMMENDED BY WOOD FLOOR MANUFACTURER. PREPARATION AND FINISHING:
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ADDITION & ALTERATION TO; 92 SEABREEZE WAY KEANSBURG, NJ 07734



LOCATION MAP NOT TO SCALE

ABBREVIATIONS

DESCRIPTION	ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION	ABBREVIATION
ABOVE FINISH FLOOR	A.F.F.	FEMINE NAPKIN DISPENSER	F.N. DISP.	PRESSURE & TEMP. RELIEF	P.T.R.
ACOUSTICAL TILE	ACT.	FIBERGLASS	F.G.	QUARRY TILE	Q.T.
AGGREGATE BASE COURSE	A.G.C.	FINISH FLOOR ELEVATION	F.F.E.	REFLECTED	REFL.
ASPHALT CONCRETE	A.C.	FIREPROOFING	F.P.	REFLECTED CEILING PLAN	R.C.P.
AIR CONDITIONER	A/C	FIXTURE UNIT	F.U.	REGISTER	REG.
AIR HANDLING UNIT	A.H.U.	FLOOR DRAIN	F.D.	RETURN AIR GRILLE	R.A.G.
ANCHOR	ANCH.	FLUE THRU ROOF	F.T.R.	RISER	R.
ANCHOR BOLT	A.B.	FOUNDATION	FDN.	ROOFING	R.O.
AND	&	FURNISHED BY OTHERS	F.B.O.	ROOF DRAIN	R.O.D.
ANODIZED	ANOD.	GALVANIZED IRON	G.I.	ROUGH OPENING	R.O.
BM	BM.	GENERAL	GEN.	ROUGH SAWN	R.S.
BRG.	BRG.	GLASS / GLAZING	G.L.	RUBBER	RUB.
B.M.	B.M.	GULF-LAM BEAM	G.L.B.	SANITARY NAPKIN DISPOSAL	S.N.D.
BOARD	BD.	GYPSUM WALL BOARD	G.W.B.	SANITARY NAPKIN VENDOR	S.N.
BOTTOM	BOT.	HANGER	H.C.	SAW-CUT JOINT	S.C.
BOTTOM OF BEAM	B.O.B.	HARDWARE	H.W.	SEPARATION	SEP.
BOTTOM OF JOIST	B.O.J.	HARDWOOD	H.W.D.	SEWER	S.
BOTTOM OF LEDGER	B.O.L.	HEADER	HDR.	SHEATHING	SHTG.
BREAKER	BRK.	HEIGHT	HGT.	SHEET METAL	S.M.
BRONZE	BRZ.	HOLLOW CORE	H.C.	SHIELD GLASS DOOR	S.G.
BUILT-UP ROOFING	B.U.R.	HOLLOW METAL	H.M.	DOOR	D.
CABINET	CAB.	HOSE BIB	H.B.	SOAP DISPENSER	S.D.
CAPACITY	CAP.	HOT WATER	H.W.	SOLID CORE	S.C.
CAST IRON	C.I.	HOT WATER RETURN	H.W.R.	SOUNDPROOF	SP.
CERAMIC TILE	C.T.	INTERMEDIATE	I.D.	STEEL	STL.
CLEARANCE	C.L.	JOINT	JT.	STYROFOAM	STYRO.
COLD WATER	C.W.	LAMINATE	LAM.	SUPPLY AIR REGISTER	SAR.
CORRUGATED METAL ROOF	C.M.R.	MASONRY CONTROL JOINT	M.C.J.	SUSPENDED	SUSP.
COMPACTED	COMP.	MEDIUM DENSITY FIBERBOARD	M.D.F.	SYSTEM	SYS.
CONCRETE	CONC.	MEMBRANE	MEMB.	THERMOSTAT	THERM.
CONCRETE MASONRY UNIT	C.M.U.	METAL	MTL.	TOILET PAPER DISPENSER	T.P.
CONDITION	COND.	MEMBRANE	M.M.	TONGUE & GROOVE	T.&G.
CONDUIT THRU ROOF	C.T.R.	MATERIAL	MATL.	TOP OF BEAM	T.O.B.
CORNER JOINT / CONSTRUCTION JOINT	C.C.J.	NAT.	NAT.	TOP OF CONCRETE / CURB	T.O.C.
CORNER GUARD	C.C.G.	NOT IN CONTRACT	N.I.C.	TOP OF JOIST	T.O.J.
CORRUGATED METAL PIPE	C.M.P.	NOT TO SCALE	N.T.S.	TOP OF LEDGER	T.O.L.
COUNTER FLASHING	C.F.LASH.	OPENING	O.P.	TOP OF MASONRY	T.O.M.
COUNTERSINK	C.SINK	OPPOSITE	OPP.	TOP OF PLATE	T.O.P.
CUBIC FEET	C.F.	OUTSIDE DIAMETER	O.D.	TOP OF WALL	T.O.W.
CUBIC FEET PER MINUTE	C.F.P.M.	OVERFLOW ROOF DRAIN	O.R.D.	UNLESS NOTED OTHERWISE	U.N.O.
DAMP-PROOFING	D.P.	OVERHANG	O'HANG	URINAL	UR.
DECOMPOSED GRANITE	D.G.	PAINTED	PTD.	VENT	V.
DISPENSER	DISP.	PAPER TOWEL DISPENSER	P.T. DISP.	VENT THRU ROOF	V.T.R.
DOMESTIC COLD WATER	D.C.W.	PARTITION	PARTN.	VERT.	VERT.
DOWN	DN.	PER LINEAR FOOT	P.L.F.	VINYL COMPOSITION TILE	V.C.T.
DRAIN	DR.	PITCH PROOF	P.P.	VINYL WALL FABRIC	V.W.F.
DRAIN THRU ROOF	D.T.R.	PLASTER	PLAS.	WASTE	W.
DRAIN THRU WALL	D.T.W.	PLASTIC LAMINATE	PL.LAM.	WASTE RECEPTACLE	W.R.
ELECTRIC WATER COOLER	E.W.C.	PLYWOOD	PLYW.	WATER RECEPTACLE	W.R.
EXHAUST FAN	E.F.	POINT	PT.	WATER RECEPTACLE	W.R.
EXHAUST GRILLE	E.G.	POLY VINYL CHLORIDE	P.V.C.	WATERPROOF	W.P.
EXPANSION JOINT	E.J.	POST INDICATOR VALVE	P.I.V.	WATER WASTAGE	W.W.
EXTINGUISHER	EXTING.	PRE-FABRICATED	PRE-FAB.	WELDED WIRE FABRIC	W.W.F.
FABRICATED	FAB.	PRE-FABRICATED	PRE-FAB.	WINDOW	WDW.
FACIAL TISSUE DISPENSER	F.T. DISP.	PRESSURE RELIEF	P.R.	WOOD	WD.
FAN COIL UNIT	F.C.U.			WROUGHT IRON	W.I.

BUILDING INFORMATION

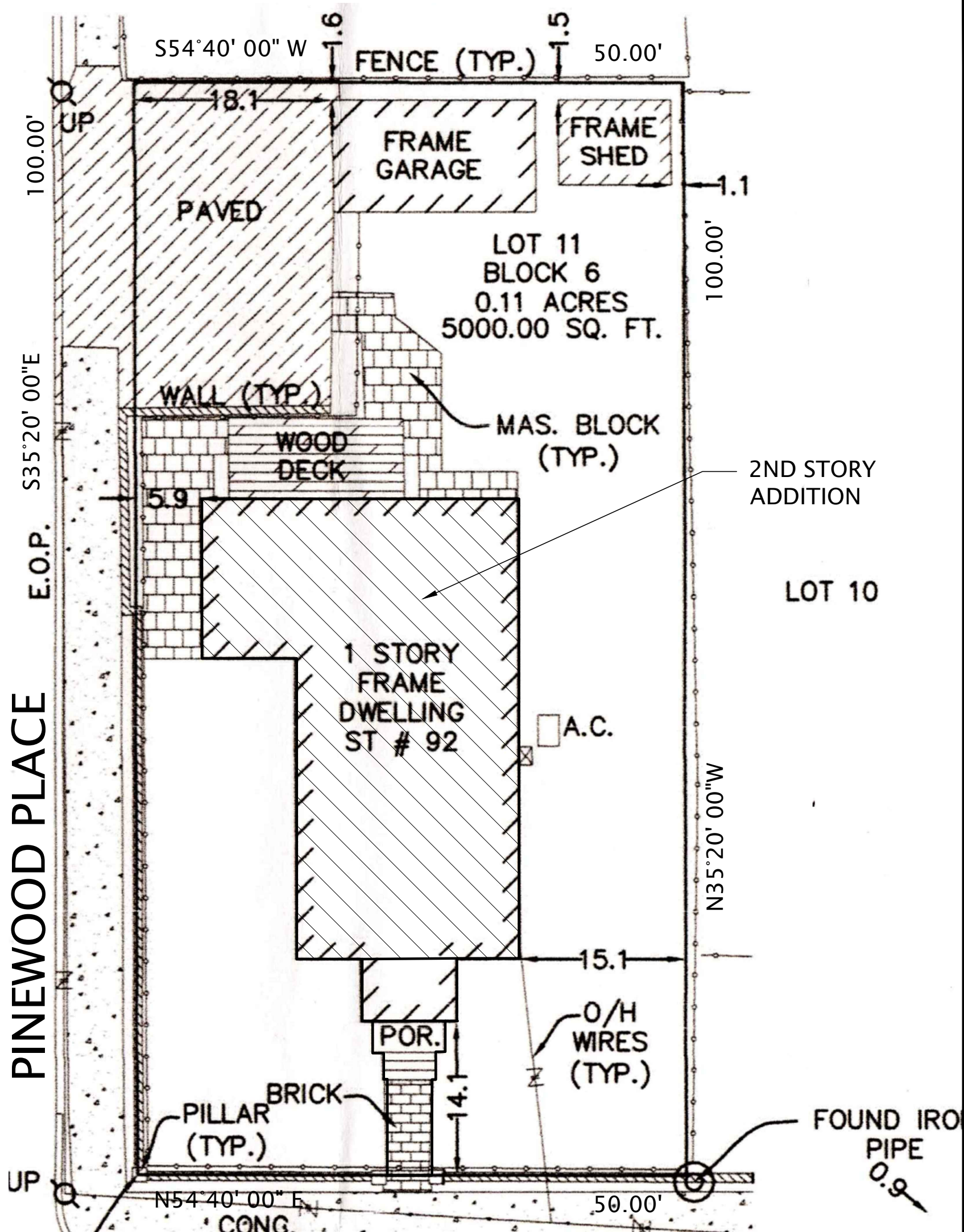
DESCRIPTION OF WORK	RENOVATION & ADDITION TO EXISTING SINGLE FAMILY HOUSE
USE GROUP	RESIDENTIAL R-5
PROPOSED CONSTRUCTION TYPE	TYPE VB
EXISTING AREA	1,034 SF - 1st FLOOR
PROPOSED AREA	0 SF - 2nd FLOOR 0 SF - 1st FLOOR
TOTAL FLOOR AREA	1,034 SF - 1st FLOOR 1,034 SF - 2nd FLOOR
NEW BLDG VOLUME	9,306 C.F.

NOTE: THIS IS AN ARCHITECTS PLOT PLAN & IS SUBJECT TO VERIFICATION BY A LICENSED SURVEYOR

INFORMATION OBTAINED FROM SURVEY PREPARED BY: DAREN C. LEEPER, P.L.S.
DATED: MAY 17, 2021

SITE PLAN

SCALE = 1" = 10'-0"



DRAWING INDEX

- A-1 COVER SHEET/INDEX/SITE PLAN
- A-2 FLOOR PLANS
- A-3 ELEVATIONS

DESIGN LOADS

- WIND LOAD = 115 MPH
- SNOW LOAD = 25 PSF
- LIVE LOAD (TYPICAL) = 40 PSF
- LIVE LOAD (SLEEPING RMS) = 30 PSF
- LIVE LOAD (ATTIC) = 20 PSF
- LIVE LOAD (DECK) = 40 PSF

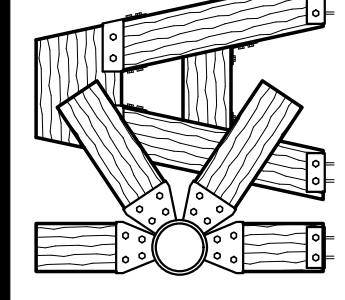
ZONING DATA

SECTION: BLOCK: 6 LOT(S): 11

ZONE: R-5	REQUIRED	PROVIDED	
LOT AREA - CORNER	7,500 SF	5,000 SF	VAR. RQD.
LOT WIDTH - CORNER	75 FT	50 FT	VAR. RQD.
LOT DEPTH	-	100 FT	
FRONT YARD (SEABREEZE WAY)	25 FT	14.1 FT	VAR. RQD.
FRONT YARD (PINWOOD PL.)	25 FT	5.9 FT	VAR. RQD.
REAR YARD	25 FT	31 FT	
SIDE YARD (MIN)	7.5 FT	15.1 FT	
SIDE YARD (TOTAL)	32.5 FT	20.9 FT	VAR. RQD.
BUILDING HEIGHT	35 FT	-	
LOT COVERAGE - BUILDING	25%	19%	
LOT COVERAGE - ALL	50%	35%	
MIN. IMP. OFF STREET PARK.	4	3	VAR. RQD.

ADDITION & ALTERATION TO;
92 SEABREEZE WAY
KEANSBURG, NJ 07734

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P (732) 910-6178

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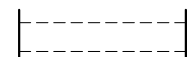
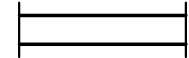

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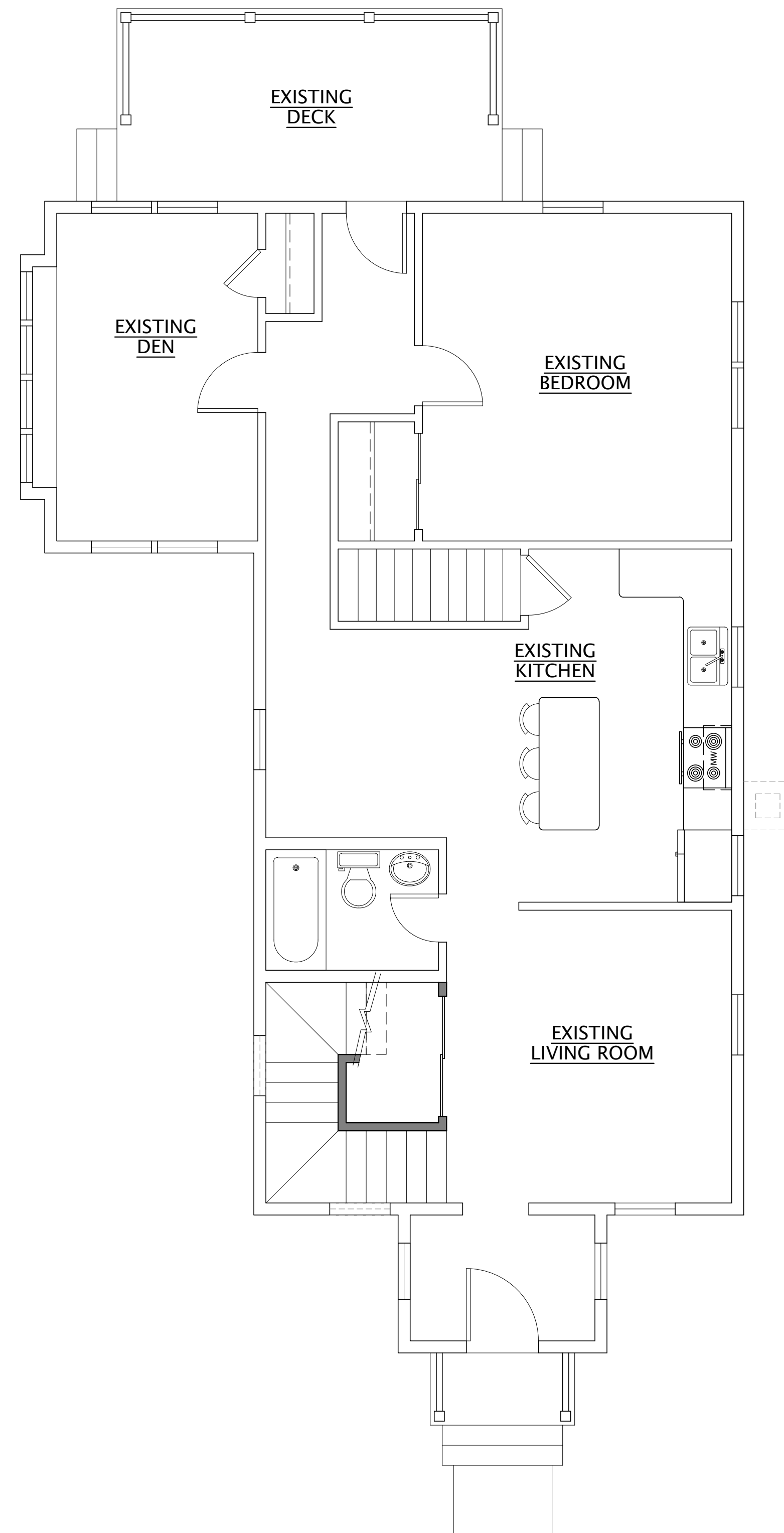
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JOB # 25-294

A-1
1 OF 3

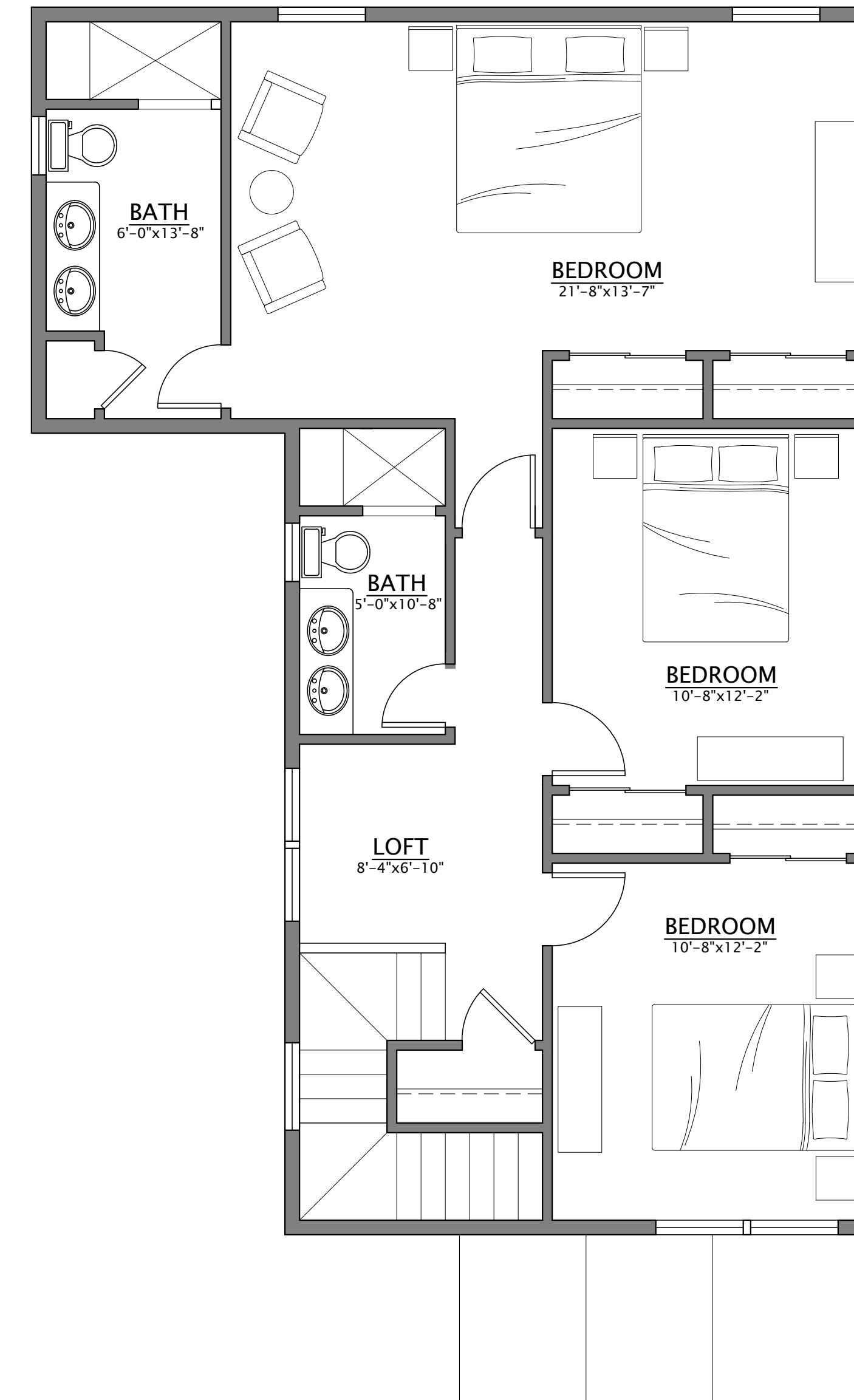
LEGEND

-  EXISTING TO REMOVE
-  EXISTING TO REMAIN
-  NEW STUD WALL



1st FLOOR PLAN - 1,036sf

SCALE = 1/4"=1'-0"

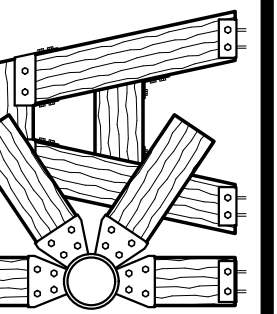


2nd FLOOR PLAN - 1,036sf

SCALE = 1/4"=1'-0"

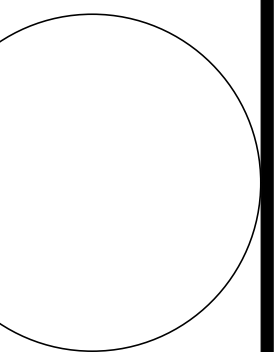
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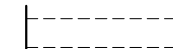
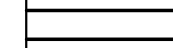

FLOOR PLANS

DATE: 02/12/25
 DRAWN BY: GAJ
 CHECKED BY: GAJ
 JOB # 25-294

A-2

2 OF 3

LEGEND

-  EXISTING TO REMOVE
-  EXISTING TO REMAIN
-  NEW STUD WALL



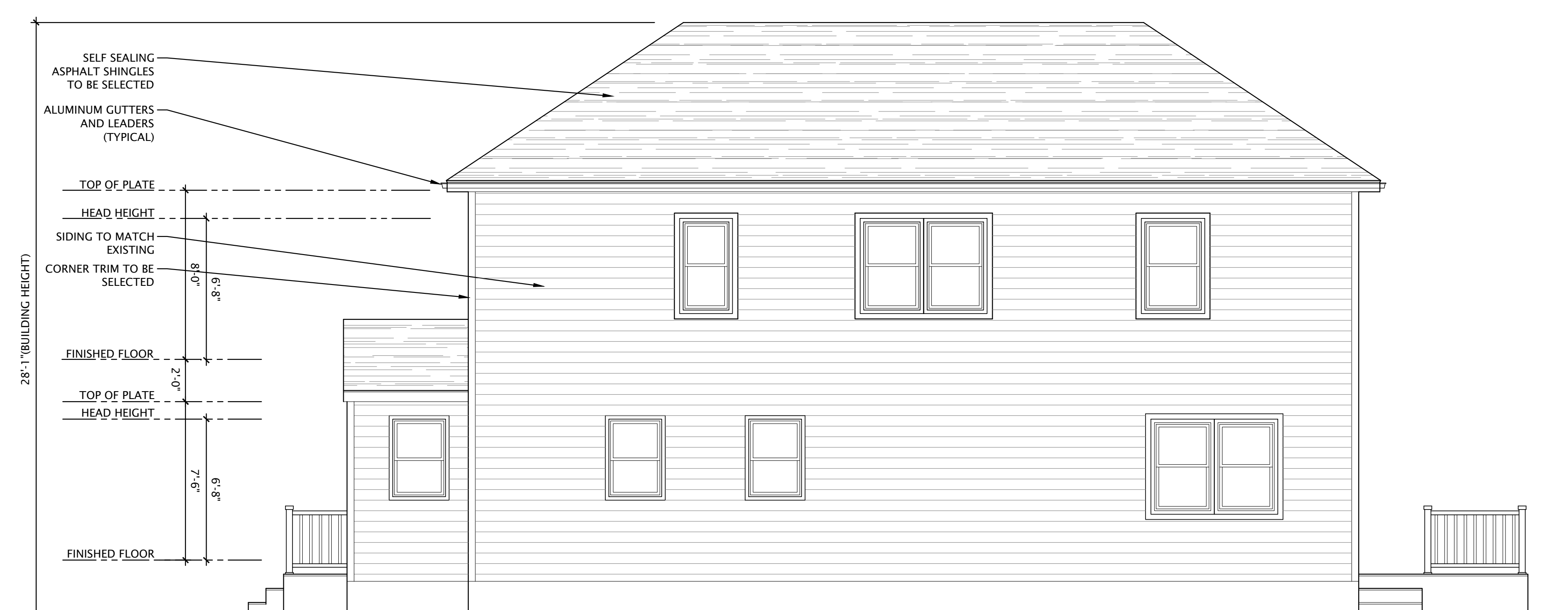
LEFT SIDE ELEVATION

SCALE = 1/4"=1'-0"



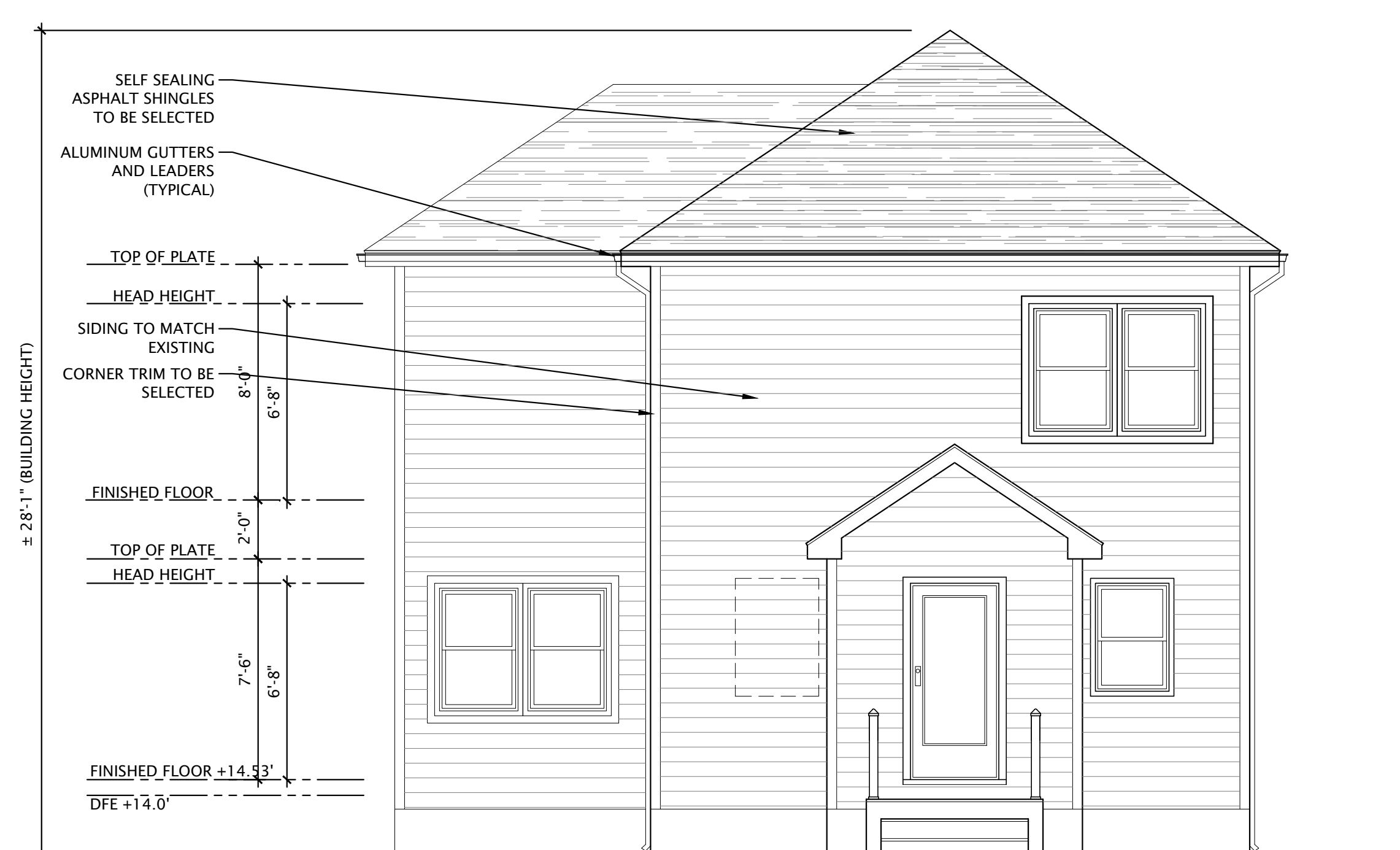
REAR ELEVATION

SCALE = 1/4"=1'-0"



RIGHT SIDE ELEVATION

SCALE = 1/4"=1'-0"

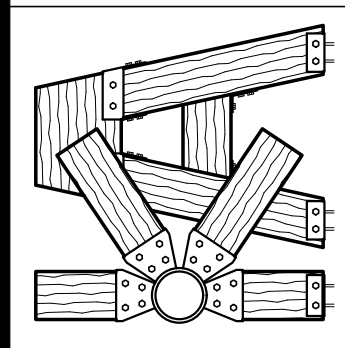


FRONT ELEVATION

SCALE = 1/4"=1'-0"

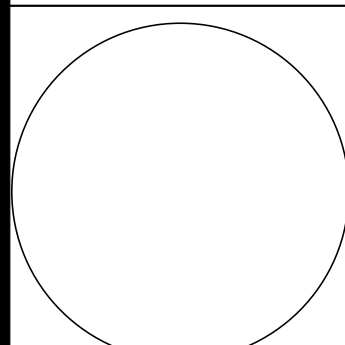
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FLOOR PLANS & ELEVATIONS

DATE: 02/12/25
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A-3

3 OF 3